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2007-0011 49 001 Page 1 of 2  
2002-04-17 10:07:56  
Cook County Recorder 23.50



FOR THE PROTECTION OF THE OWNER, THIS RELEASE SHALL BE FILED WITH THE RECORDER OF DEEDS OR THE REGISTRAR OF TITLES IN WHOSE OFFICE THE MORTGAGE OR DEED OF TRUST WAS FILED.

Loan No. 00000000994153804

ABOVE SPACE FOR RECORDER'S USE ONLY

KNOW ALL MEN BY THESE PRESENTS, that CHASE MORTGAGE COMPANY, for and in consideration of the payment of the indebtedness secured by the mortgage hereinafter mentioned, and the cancellation of the payment of all the notes thereby secured, and of the sum of one dollar, the receipt whereof is hereby acknowledged, does hereby REMISE, RELEASE, CONVEY, and QUIT CLAIM unto Leo Cogan And Zella Cogan, its/his/hers/their, heirs, legal representatives and assigns all right, title, interest, claim or demand whatsoever they may have acquired in, through or by a certain Mortgage, bearing the date of December 19, 2000, and recorded on December 21, 2000, in Document 00010002164 in the Recorder's Office of Cook County, on the premises therein described as follows, situated in the County of Cook, State of Illinois, to wit:

PIN #04-32-402-034-1071; UNIT B 503 AS DELINEATED ON A SURVEY OF THE FOLLOWING DESCRIBED PARCEL OR REAL ESTATE: A PART OF THE SOUTHEAST QUARTER (1/4) OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS, WHICH SURVEY IS ATTACHED AS EXHIBIT "C" TO THE DECLARATION OF CONDOMINIUM FILED MAY 23, 1974 AS DOCUMENT NO. LR2754082, AS AMENDED FROM TIME TO TIME, TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS.

together with all the appurtenances and privileges thereunto belonging or appertaining.

Address(es) of premises: 4100 TRIUMVERA LN, GLENVIEW, IL, 60025-0000

Witness my hand and seal February, 27, 2002.

CHASE MORTGAGE COMPANY

Lakesha Brooks  
Vice President




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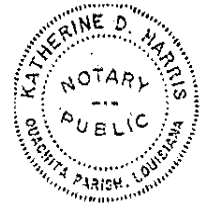
State of: Louisiana  
Parish/County of: Ouachita

I, the undersigned, a Notary Public in and for the said County/Parish, in the State aforesaid, do hereby certify that Lakesha Brooks, Vice President, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he/she as such authorized corporate officer signed, sealed and delivered the said instrument as CHASE MORTGAGE COMPANY free and voluntary act for the uses and purposes therein set forth.

Given under my hand and official seal February, 27, 2002.

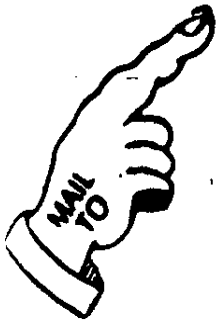


Katherine D. Harris  
Notary Public  
Lifetime Commission



Prepared by: Kenyatta Moy  
Record & Return to:  
Chase Manhattan Mortgage Corporation  
1500 North 19th Street  
P.O. Box 4025  
Monroe, LA 71211-9981

Loan No: 000000001994153804  
County of: Cook  
Investor No: 403  
Investor Category:  
Investor Loan No: 241676010624



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