

# UNOFFICIAL COPY

WARRANTY DEED  
STATE OF ILLINOIS  
COUNTY OF COOK

0030221366

5214/0335 48 001 Page 1 of 3  
2003-02-14 14:40:55  
Cook County Recorder 28.50

THE GRANTOR

Suzanne E. Murphy,  
A Single Woman,  
333 W. Hubbard, Unit 810  
Chicago, IL 60610



(The Above Space For Recorder's Use Only)

of the County of Cook, State of Illinois for and in consideration of TEN AND NO/100 DOLLARS (\$10.00 )  
and other good and valuable consideration in hand paid, CONVEYS and WARRANTS to:

SUZANNE E. MURPHY, Trustee of the SUZANNE E. MURPHY Living Trust, dated December 26, 2002, and any  
amendments thereto.

the following described Real Estate situated in the County of Cook in the State of Illinois, to wit:

See attached legal description

Permanent Index Number (PIN): 17-09-257-025-1-36

Address of Real Estate: 333 Hubbard, Unit 810 & Parking Space #: 65  
Chicago, IL 60610

SUZANNE E. MURPHY

DATED this 26 day of December, 2002.

State of Illinois, County of Cook) SS.

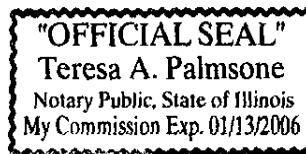
I, the undersigned, a Notary Public in and for said County, in the State  
aforesaid, DO HEREBY CERTIFY that SUZANNE E. MURPHY,  
personally known to me to be the same person(s) whose name is  
subscribed to the foregoing instrument, appeared before me this day in  
person, and acknowledged that they signed, sealed and delivered the  
said instrument as their free and voluntary act, for the uses and  
purposes therein set forth including the release and waiver of the right  
of homestead.

Exempt under provisions of Paragraph 4-E  
Section 31-45, Property Tax Code.

12-26-02 Teresa A. Palmson  
Date buyer, Seller or Representative

Given under my hand and official seal, this 26<sup>th</sup> day of December, 2002.

Commission expires 1/13/06  
Teresa A. Palmson  
NOTARY PUBLIC



This instrument was prepared by: Anthony J. Madonia & Associates, Ltd. 150 N. Wacker, Suite 2600, Chicago, IL 60606.

*Handwritten initials/signature*



**MAIL TO:**

**SUBSEQUENT TAX BILL TO:**

Anthony J. Madonia & Associates, Ltd.  
150 North Wacker Drive, Suite 2600  
Chicago, Illinois 60600

Ms. Suzanne E. Murphy  
333 Hubbard Street, Unit 810  
Chicago, IL 60610

**LEGAL DESCRIPTION**

**PARCEL 1:**

Unit 810 in Union Square Condominium as delineated and defined on the Plat of Survey of the following described Parcel of Real Estate:

Parts of lots 17, 18, 19, 20, 21, 22, 23, 24, 25 and 26 and lots 16 (except the west 15 1/2 fet thereof) in Block 1 in Butler, Wright and Webster's addition to Chicago in section 9, Township 39 North, Range 14 East of the Third Principal Meridian, in Cook County, Illinois.

Which survey is attached as exhibit "B" to the Declaration of Condominium recorded February 25, 1998 as document number 98148440, and as amended from time to time, together with its undivided percentage interest in the common elements.

**PARCEL 2:**

The exclusive right to the use of Parking Space Number 65, pursuant to the parking agreement dated February 24, 1998 and recorded February 25, 1998 as document number 98148441.

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## STATEMENT BY GRANTOR AND GRANTEE

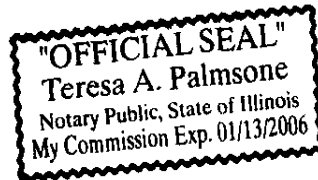
The grantor or his agent affirms that, to the best of his knowledge, the name of the grantee shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire title to real estate under the laws of the State of Illinois.

Dated: December 31, 2002

Signature: \_\_\_\_\_  
Grantor or Agent

Subscribed and sworn to before  
Me by the said agent this 31st day of  
December, 2002.

Teresa A. Palmson  
Notary Public



The grantor or his agent affirms that, to the best of his knowledge, the name of the grantee shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire title to real estate under the laws of the State of Illinois.

Dated: December 31, 2002

Signature: \_\_\_\_\_  
Grantor or Agent

Subscribed and sworn to before  
Me by the said agent this 31st day of  
December, 2002.

Teresa A. Palmson  
Notary Public

