



Doc#: 0334244059  
Eugene "Gene" Moore Fee: \$50.50  
Cook County Recorder of Deeds  
Date: 12/08/2003 11:54 AM Pg: 1 of 14

THIS INSTRUMENT PREPARED  
BY AND AFTER RECORDING  
RETURN TO:  
James J. Banks  
221 N. LaSalle St.  
Suite 3800  
Chicago, IL 60601  
312-782-1983



## DECLARATION OF RESTRICTIVE COVENANT

*2940-42 N. Sheffield*

THIS DECLARATION OF RESTRICTIVE COVENANT ("Declaration") is made  
this 12<sup>th</sup> day of August, 2003 by <sup>Joseph Bayle</sup> Tom Romano, Shareholder of R & B  
Developers (sometimes hereinafter referred to as "Owner" or "Declarant").

### RECITALS:

WHEREAS, Declarant is the Owner and legal titleholder of a certain parcel of real estate in Chicago, Cook County, Illinois commonly known as 2938-42 N. Sheffield, Chicago, Illinois and legally described on Exhibit "A", attached hereto and made a part hereof ("Premises"); and

WHEREAS, Declarant intends that the Premises be utilized as a residential condominium development made up of 8 residential condominium dwelling units ("Intended Use"); and

WHEREAS, the present zoning for the Premises is B4-2 Restricted Service District; and

WHEREAS, in order to accommodate Declarant's Intended Use, Declarant intends to effectuate a zoning change for the Premises to R6 General Residence District; and

WHEREAS, if the proposed zoning change to R6 General Residence District, is approved by the City of Chicago, is shall be subject to a restrict covenant being recorded against the Premises restricting the Premises to the construction of an 8 unit residential development restricting the development so that it is built in substantial conformance with plans and elevations prepared by Sullivan and Goulette Architects, dated 3.29.03, attached hereto as Exhibit "B"; and

WHEREAS, Declarant has presented copies of its plans to the Alderman of the 44th Ward, and to representatives of the homeowner's regular neighborhood organization, Central Lake View Neighbors (an Illinois not-for-profit corporation) hereinafter ("CLVN"), in order to obtain the consent of the Alderman and of the CLVN to a change in zoning of the premises from a B4-2 Restrictive Service District to an R6 General Residence District; and

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WHEREAS, CLVN has held open public meetings concerning the requested change and as a body has expressed concerns over the proposed change in zoning because structures permitted under the City of Chicago's R6 zoning classification are completely incompatible with the nature and size of existing structures in the surrounding neighborhood. It being generally understood and agreed, the surrounding neighborhood is mostly compatible with an R4 Residential zoning classification. Moreover, CLVN objects to the proposed zoning change insofar as it could be later construed by a court of a competent jurisdiction as indicative of a "trend" towards any development more dense than the City's current R4 Residential classification; and

WHEREAS, Declarant is willing to so configure the building it proposes to construct on the Premises so as to minimize any negative impact to the single family residence and to the neighborhood, both now and in the future, by adjusting the front yard and side yard setbacks on the building to be constructed and by committing to the execution and recording of certain other covenants and conditions as more fully set forth herein, and

WHEREAS, if the proposed zoning change to an R6 General Residence District is approved by the CLVN and the City of Chicago, Declarant agrees that it shall subject the Premises to a restrictive covenant, to be recorded against the Premises, restricting the Premises to the construction of an eight (8) unit residential condominium development to be constructed in accordance with the elevations and plans prepared by Sullivan and Goulette Architects, dated \_\_\_\_\_, attached hereto as Exhibit B;

WHEREAS, Declarant, in consideration of the CLVN and City's consent to the proposed zoning change, shall encumber the Premises with a restrictive covenant setting forth the aforesaid restrictions, all as more specifically set forth below, and

## DECLARATIONS:

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and for the purpose stated herein, Declarant declares as follows:

1. The recitals set forth hereinabove are fully incorporated herein by this reference.
2. All of the Premises are and shall be held, sold and conveyed subject to the covenants, conditions and restrictions herein stated, all of which shall run with the land and be binding upon all parties now or hereinafter having any right, title or interest in the Premises or in any part thereof, and upon those claiming under them, with such limitations or exceptions as are herein expressed.

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3. The Premises, or any portion thereof, shall be used solely for the purpose of the construction, development and subsequent sale or lease of a 4-story, 54' residential building containing 8 residential units and for no other purpose whatsoever.
4. Development of the property is limited to no more than 8 units as illustrated on floor plans developed by Sullivan and Goulette and dated 3.28.03 and attached hereto as Exhibit "B".
5. The height of the building at the street front is limited to 50 feet (as measured from grade to the underside of the roof truss) with an allowance in height at the rear of the building of up to 54 feet in height (as measured from grade to the underside of the roof truss). The height shall be consistent with elevation drawings prepared by Sullivan and Goulette and dated 3.28.03 and attached hereto as Exhibit "B".
6. With this Declaration, the applicant agrees to file and to thereafter diligently prosecute an application for a rezoning of the subject property back to the B4-2 Restricted Service District immediately after securing the necessary zoning variances or exceptions and after securing required building permits. Such rezoning shall be applied for within sixty (60) days of securing the necessary building permit.
7. All covenants, conditions, and restrictions contained in this Declaration shall run with the land and shall be binding upon all parties and persons owning any portion of the premises. Furthermore, the applicant acknowledges and agrees to the City's commitment to rezone the property to the B4-2 Restricted Service District in the event that any party submits building plans in a manner inconsistent with the density and scale as illustrated on plans developed by Sullivan and Goulette and dated April 9, 2002 and attached hereto as Exhibit "B".
8. No building shall be erected on the Premises, nor shall construction begin on any building, unless the plans and specifications of any building proposed to be erected have been submitted to the City and written approval therefrom has been secured. Issuance of a building permit by the City for the Premises shall constitute the City's approval of the submitted plans and specifications.
9. Breach of any of the covenants or violation of any other portions of this Declaration shall not defeat or render invalid the lien of any mortgage or trust deed made in good faith and for value as to any portion of the Premises, but all provisions of this Declaration shall be binding and effective against any owner of any portion of the Premises whose title thereto is acquired by foreclosure, trustee sale or otherwise under such mortgage or trust deed, and shall remain effective as to each portion of the Premises so acquired.
10. Enforcement of the provisions of this Declaration shall be by any proceeding at law or in equity, brought by the Declarant, its successors or assigns, or the City, or the Office of the Alderman which has jurisdiction over the Premises or by

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any property owner within 250 feet of the Premises, or by any other party with standing to enforce the covenant under Illinois law against any person(s), or attempting to violate any covenant, restriction or other provision hereof, either to restrain or prevent such violation or attempted violation or to recover damages, or both. Failure by the Declarant, its successors or assigns, or the City or the Office of the Alderman, to promptly enforce any covenant, restriction or other provision of this Declaration shall in no event be a bar to enforcement thereafter and shall not waive any rights of the Declarant, its successor or assigns, the City, or the Office of the Alderman, to so enforce any covenant, restriction or other provision of this Declaration.

11. In the event of any litigation arising out of this Declaration, the prevailing party shall be entitled to payment of court costs and reasonable attorneys' fees.

12. Invalidation of any covenant, restriction or other provision of the Declaration by judgment or court order shall in no way affect any of the other provisions of the Declaration and such other provisions shall remain in full force and effect.

13. All covenants, conditions and restrictions contained in this Declaration shall run with the land and shall be binding upon all parties and all persons owning any portions of the Premises and all persons claiming under them until the earlier of (i) fifty (50) years from the date hereof; (ii) the zoning classification of the Premises is changed from B4-2 Restricted Service District; or (iii) an instrument signed by a majority of the then owners of the Premises and the Office of the Alderman which has jurisdiction over the Premises is recorded against the Premises modifying, amending or terminating the covenants, conditions and restrictions contained herein.

14. This agreement was entered into and approved by Declarant, the 44th Ward Alderman, and CLVN as a compromise and settlement in order to permit a development consistent with the desire of the community. This proposed compromise and the underlying zoning change made pursuant hereto shall not be construed by any governmental body, zoning committee, zoning appeal board, or court as evidence of any "trend" or tendency of the neighborhood surrounding the Premises to be moving towards an area of greater residential or commercial density, or as indicating a trend or tendency towards the construction of structures of greater mass, size and height as permitted under the current R4 General Residence District classification of the City of Chicago.

15. This Declaration is executed by Tom Romano, Shareholder of R & R Developers, not personally, but solely in the exercise of the power and authority conferred upon and vested in him as a Shareholder. No personal liability shall be asserted or be enforceable against the Shareholder because or in respect to this Declaration or its making, issue or transfer, and all such liability, if any, is expressly waived by each taker and holder hereof; except that the Shareholder, his personal and individual capacity warrants that he as a Shareholder possesses full power and authority to execute this Declaration.

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IN WITNESS WHEREOF, Declarant has executed this Declaration as of the date and year first above written.

Declarant:

R & <sup>B</sup>R Developers

By: \_\_\_\_\_ *Joseph B Boyle*  
~~Tom Romano~~  
*Joescott Boyle*

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## Exhibit A

Lots 7 and 8 in Siekel and Kagebein's Subdivision of the North 1/2 of Block 1 in the Subdivision of Outlot 6 in the Canal Trustees Subdivision of the East 1/2 of Section 29, Township 40 North, Range 14, East of the the Third Principal Meridian in Cook County, Illinois.

2940-42 North Sheffield

W:\Wileox, Charlie\Exhibit A.wpd

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**ABBREVIATIONS**

A-1	ARCHITECTURAL
A-2	MECHANICAL
A-3	ELECTRICAL
A-4	PLUMBING
A-5	PAINTING
A-6	STRUCTURAL
A-7	MECHANICAL, ELECTRICAL AND PLUMBING (MEP)
A-8	MECHANICAL, ELECTRICAL, PLUMBING AND PAINTING (MEPP)
A-9	MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL (MEPS)
A-10	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS)
A-11	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES
A-12	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE
A-13	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE
A-14	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK
A-15	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING
A-16	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL
A-17	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY
A-18	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS
A-19	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS AND SITES
A-20	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS AND SITES AND UTILITY
A-21	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS AND SITES AND UTILITY AND TRAVEL
A-22	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS AND SITES AND UTILITY AND TRAVEL AND COMMUNITY DEVELOPMENT
A-23	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS AND SITES AND UTILITY AND TRAVEL AND COMMUNITY DEVELOPMENT AND COMMUNITY DESIGN
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A-26	MECHANICAL, ELECTRICAL, PLUMBING, PAINTING AND STRUCTURAL (MEPPS) WITH FINISHES AND FURNITURE AND LANDSCAPE ARCHITECTURE AND SITEWORK AND LIGHTING AND ENVIRONMENTAL CONTROL AND SPECIALTY AND CURBS AND SITES AND UTILITY AND TRAVEL AND COMMUNITY DESIGN AND HISTORIC PRESERVATION AND LANDMARK DESIGNATION AND COMMUNITY DESIGNATION
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**ARCHITECTS**

**SULLIVAN GOULLETTE**

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**LANDSCAPE**

**GENERAL**

**PERMISSIONS**

**FOUNDATION**

**FOUNDATION WALLS**

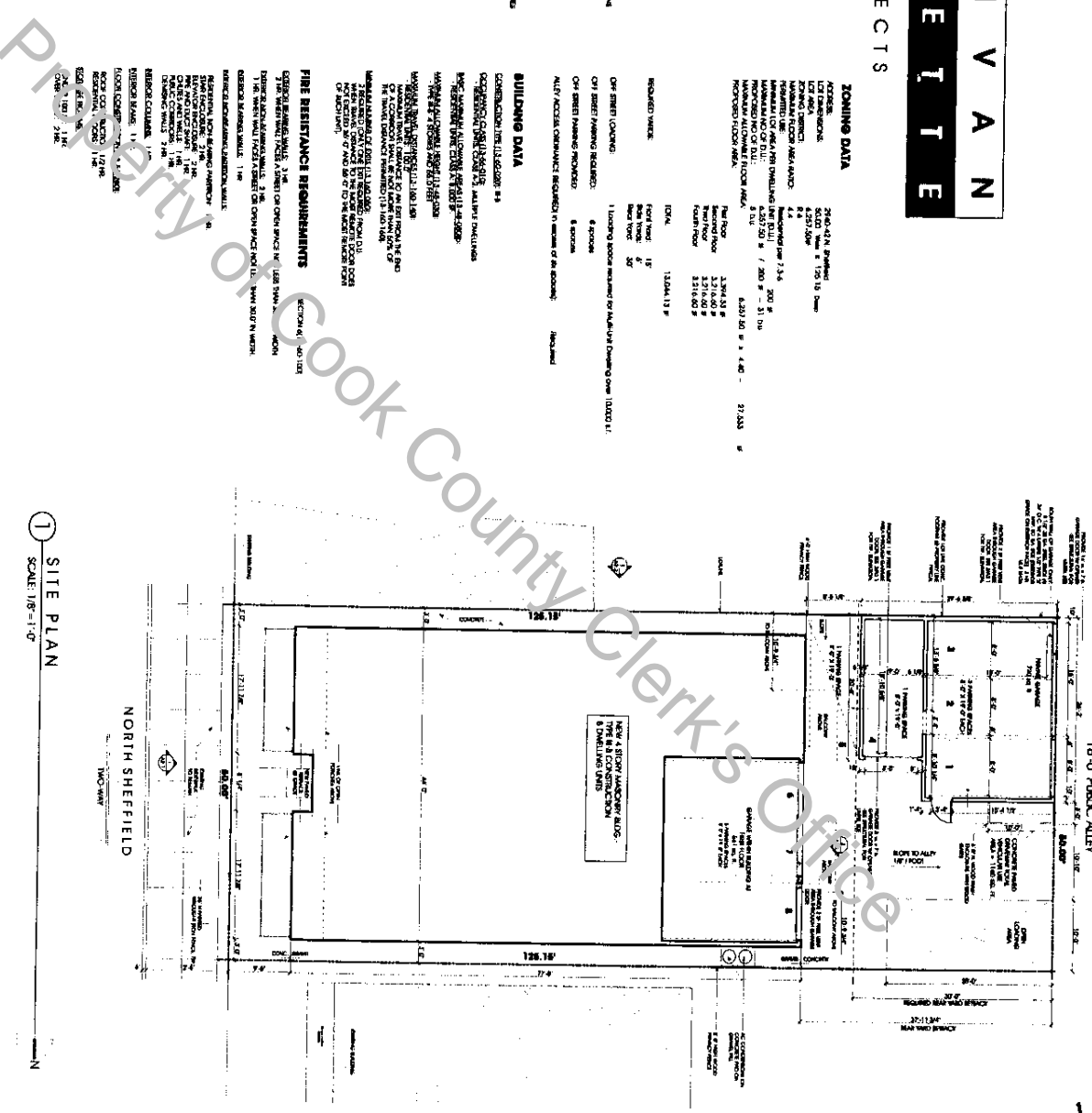
**FOUNDATION FOOTINGS**

**FOUNDATION DETAILS**

**FOUNDATION CONSTRUCTION**

**FOUNDATION CONSTRUCTION DETAILS**

**FOUNDATION CONSTRUCTION NOTES**



*EXHIBIT B*  
 TO: Declaration  
 of Restatement  
 Covenant 8.12.03

SULLIVAN GOULLETTE ARCHITECTS	
7630 W. 51ST STREET, CHICAGO, IL 60631	
PROJECT NO.	001-01254
DATE	
SCALE	
TITLE SHEET	
2940 N. SHEFFIELD CHICAGO, IL	
AQ.1	

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### NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE AND ALL APPLICABLE ORDINANCES.
4. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO MECHANICAL CODE AND ALL APPLICABLE ORDINANCES.
5. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES.
6. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO PLUMBING CODE AND ALL APPLICABLE ORDINANCES.
7. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO FIRE CODE AND ALL APPLICABLE ORDINANCES.
8. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO SANITATION CODE AND ALL APPLICABLE ORDINANCES.
9. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO SAFETY CODE AND ALL APPLICABLE ORDINANCES.
10. ALL WORK IS TO BE IN ACCORDANCE WITH THE CHICAGO HEIGHTS CODE AND ALL APPLICABLE ORDINANCES.

NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

UNITS: ALL DIMENSIONS ARE IN FEET AND INCHES.

SCALE: 1/8" = 1'-0"

DATE: 11/11/11

PROJECT: 2940 N. SHEFFIELD

ARCHITECT: J. S. BELL & ASSOCIATES

ENGINEER: J. S. BELL & ASSOCIATES

MECHANICAL ENGINEER: J. S. BELL & ASSOCIATES

ELECTRICAL ENGINEER: J. S. BELL & ASSOCIATES

PLUMBING ENGINEER: J. S. BELL & ASSOCIATES

FIRE ENGINEER: J. S. BELL & ASSOCIATES

SAFETY ENGINEER: J. S. BELL & ASSOCIATES

HEIGHTS ENGINEER: J. S. BELL & ASSOCIATES

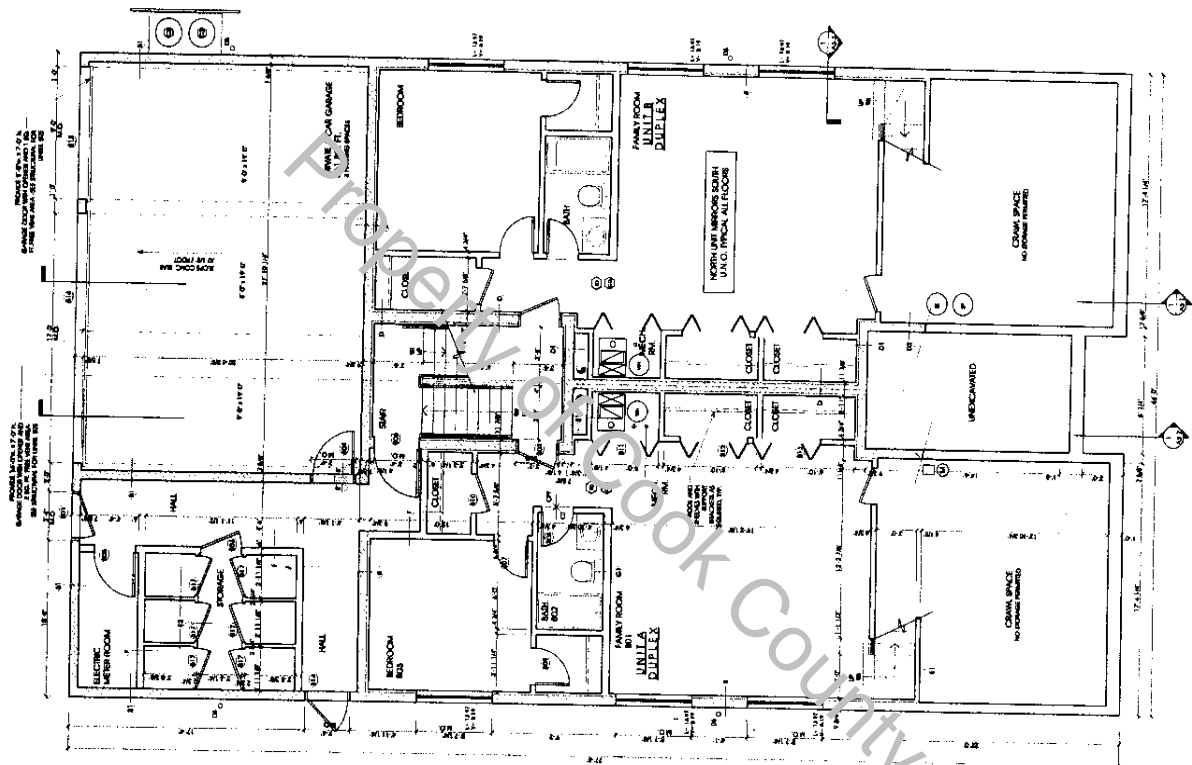
2940 N. SHEFFIELD

CHICAGO, IL

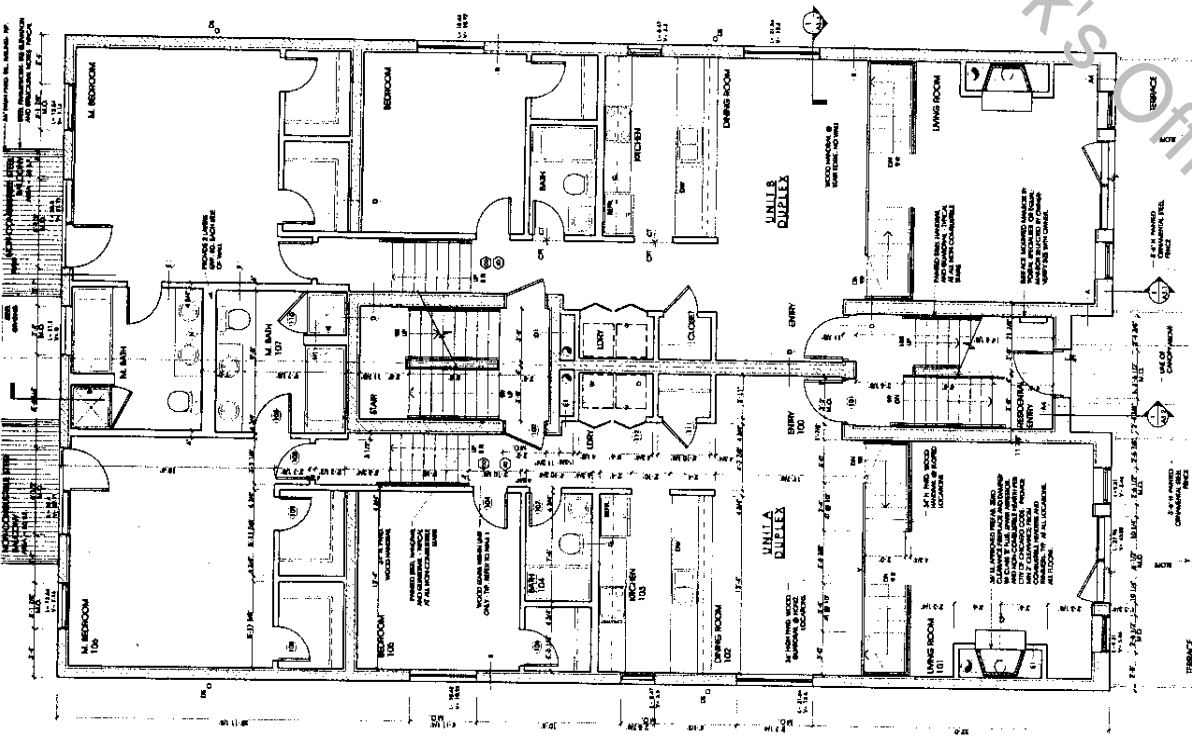
BASEMENT AND FIRST FLOOR PLANS

11/11/11

AS



1 BASEMENT FLOOR PLAN



2 FIRST FLOOR PLAN



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**NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING CODE, 2012 EDITION, AS AMENDED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO MECHANICAL CODE, 2012 EDITION, AS AMENDED.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO ELECTRICAL CODE, 2012 EDITION, AS AMENDED.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO PLUMBING AND MECHANICAL CODE, 2012 EDITION, AS AMENDED.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO FIRE CODE, 2012 EDITION, AS AMENDED.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO LANDMARK PRESERVATION ACT, 2012 EDITION, AS AMENDED.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO HISTORIC PRESERVATION ACT, 2012 EDITION, AS AMENDED.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO ANTI-CORROSION ACT, 2012 EDITION, AS AMENDED.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SOLID WASTE ACT, 2012 EDITION, AS AMENDED.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO AIR POLLUTION ACT, 2012 EDITION, AS AMENDED.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO CLIMATE CHANGE ACT, 2012 EDITION, AS AMENDED.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO ENERGY EFFICIENCY ACT, 2012 EDITION, AS AMENDED.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO GREEN BUILDING ACT, 2012 EDITION, AS AMENDED.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SUSTAINABLE BUILDING ACT, 2012 EDITION, AS AMENDED.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO WATER RESOURCES ACT, 2012 EDITION, AS AMENDED.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO WASTE MANAGEMENT ACT, 2012 EDITION, AS AMENDED.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO AIR QUALITY ACT, 2012 EDITION, AS AMENDED.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO SOIL CONSERVATION ACT, 2012 EDITION, AS AMENDED.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO WATER QUALITY ACT, 2012 EDITION, AS AMENDED.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO CLIMATE RESILIENCE ACT, 2012 EDITION, AS AMENDED.

**GENERAL NOTES:**

1. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.
2. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.
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16. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.
17. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.
18. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.
19. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.
20. ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.

**LEGEND:**

ALL COMMON AREA CONSTRUCTION TO BE NON-COMBUSTIBLE, 2.5% MINIMUM CONCRETE FLOOR.

**PROJECT INFORMATION:**

700 N. FRANKLIN  
CHICAGO, ILLINOIS  
31 FEB 2012

**2940 N. SHEPHERD**  
CHICAGO, IL

**SECOND AND THIRD FLOOR PLANS**

**SCALE: 1/8" = 1'-0"**

**DATE: 1/11/12**

**PROJECT NO: 12-001**

**CLIENT: [REDACTED]**

**ARCHITECT: [REDACTED]**

**ENGINEER: [REDACTED]**

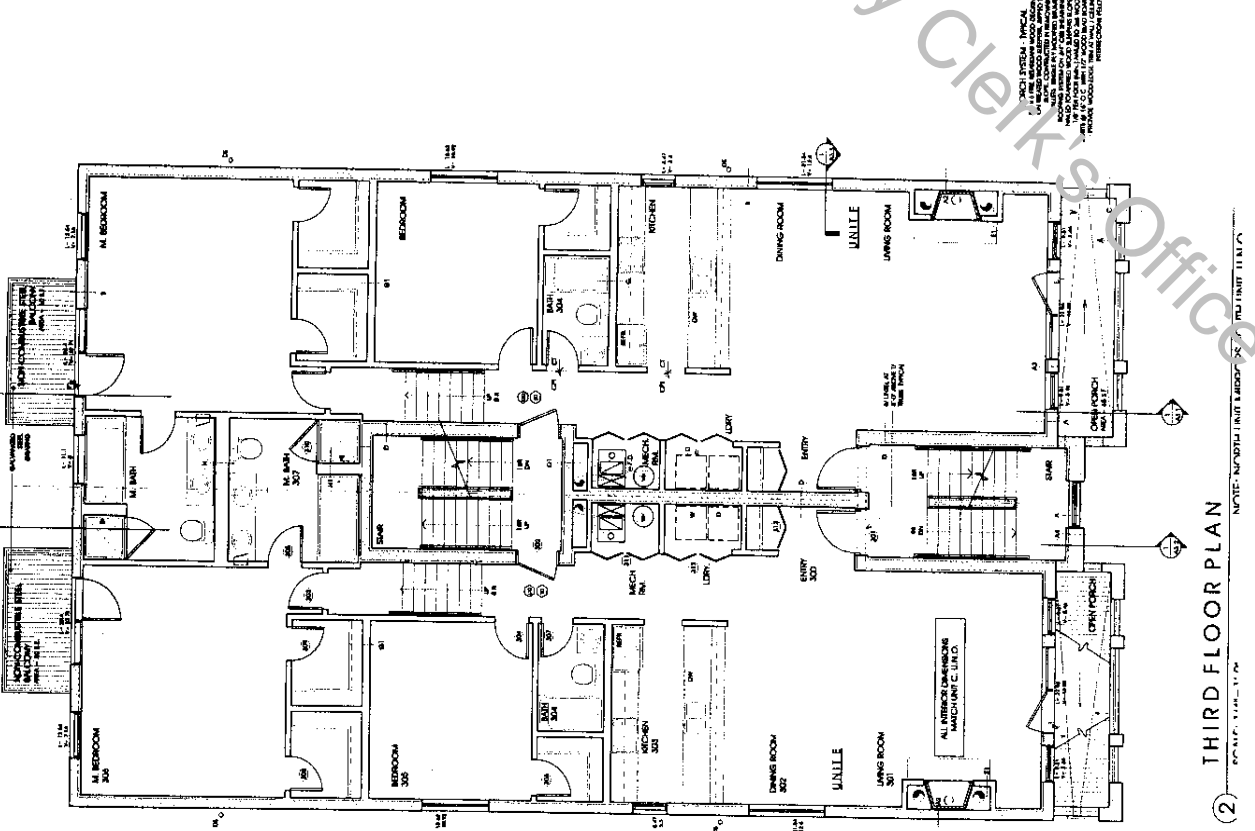
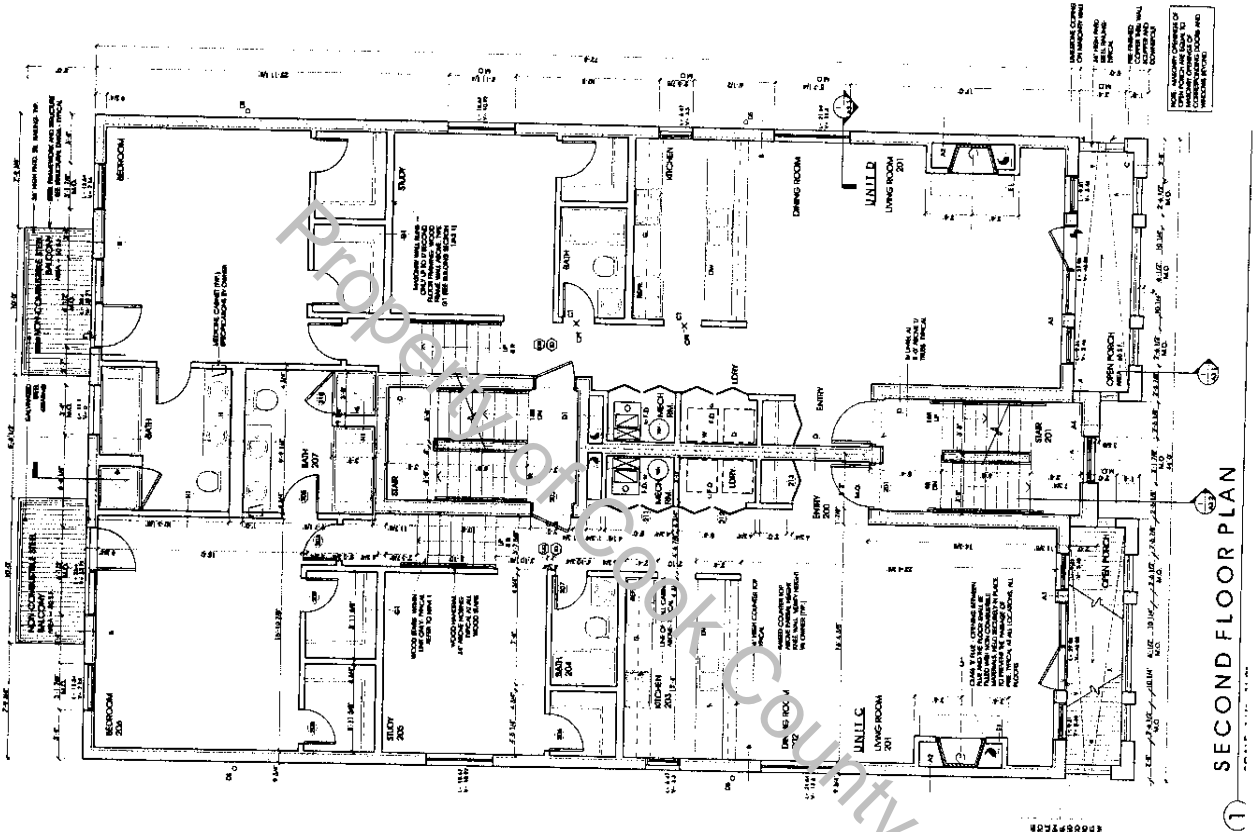
**DATE: 1/11/12**

**PROJECT NO: 12-001**

**CLIENT: [REDACTED]**

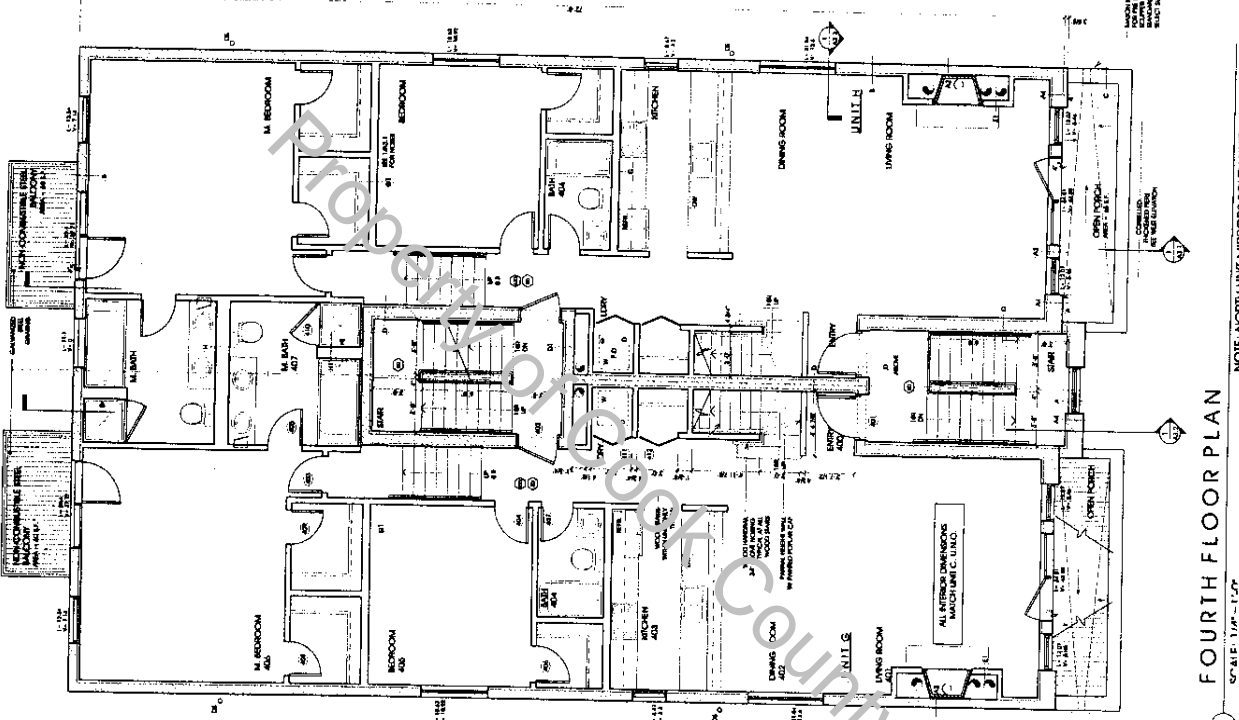
**ARCHITECT: [REDACTED]**

**ENGINEER: [REDACTED]**

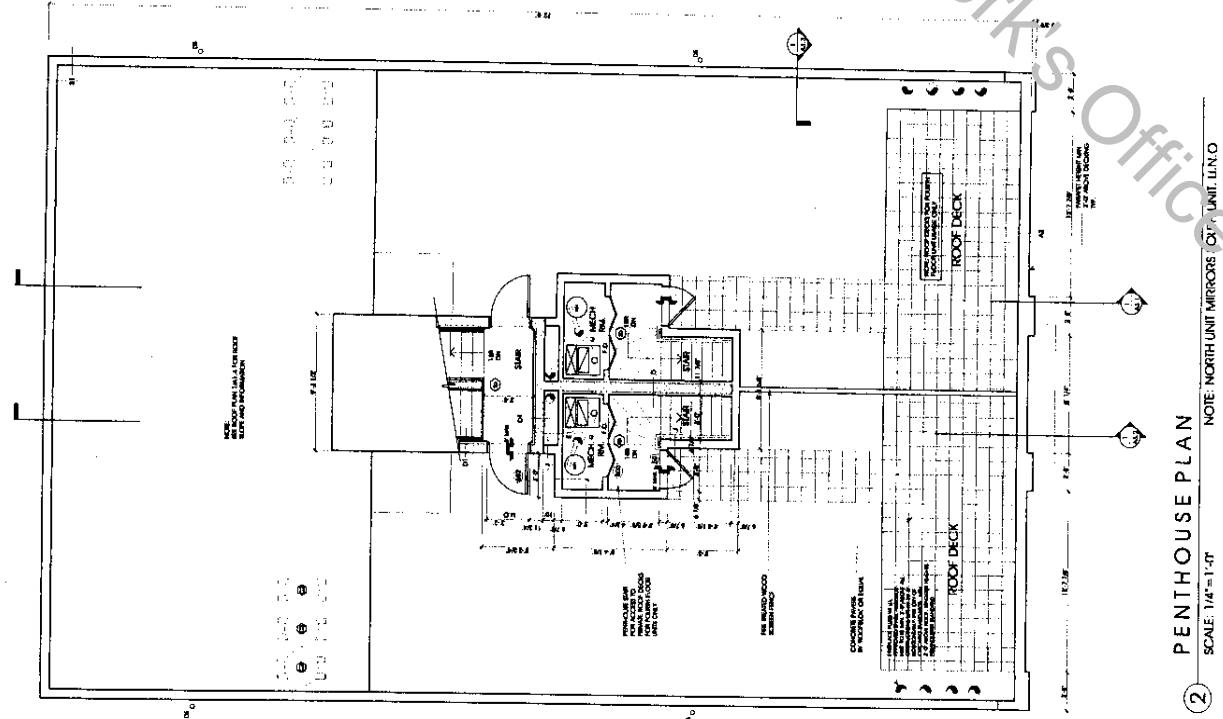


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- NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING DEPARTMENT ORDINANCES AND ALL APPLICABLE CODES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
  3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
  4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
  5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
  7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CHICAGO BUILDING DEPARTMENT ORDINANCES AND ALL APPLICABLE CODES.
  8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
  9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
- PROJECT:**  
 180 N. PARKER  
 CHICAGO, ILLINOIS 60642  
 312.774.7412
- 2940 N SHEFFIELD**  
 CHICAGO, IL
- FOURTH AND PENTHOUSE FLOOR PLANS**
- ATLS**



**FOURTH FLOOR PLAN**  
 NOTE: NORTH UNIT MIDSPAN 0'0" (UNIT 401) TO 'C'  
 SCALE: 1/8" = 1'-0"

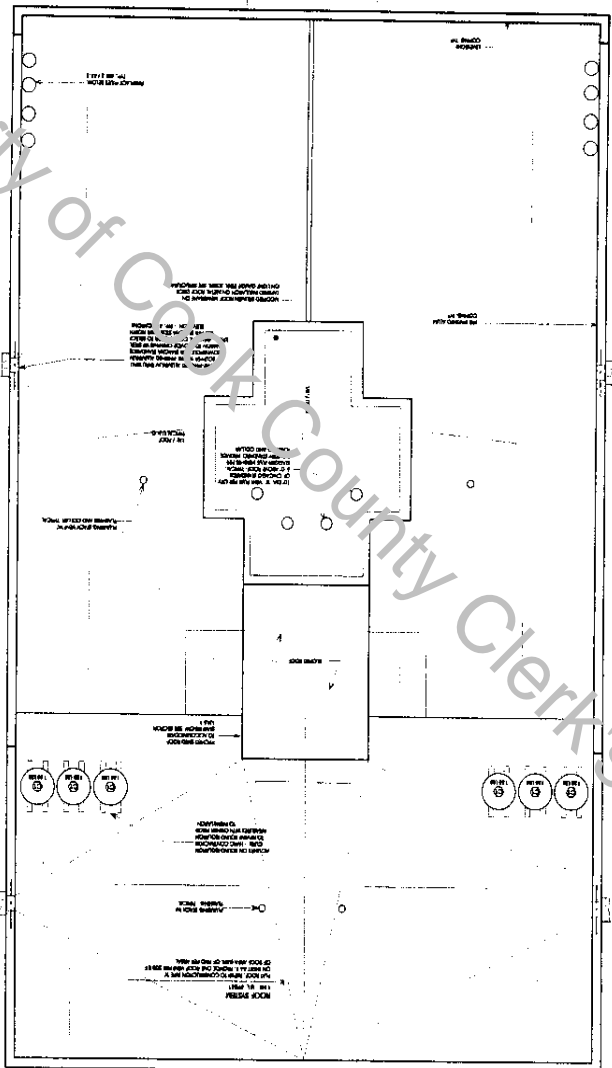


**PENTHOUSE PLAN**  
 NOTE: NORTH UNIT MIDSPAN 0'0" (UNIT 401) TO 'C'  
 SCALE: 1/8" = 1'-0"

# UNOFFICIAL COPY

A1.4	N
ROOF PLAN	
CHICAGO, IL	
2940 N SHEFFIELD	
CHICAGO, ILLINOIS	
219 988 7412	
TAN N. PERKINS	
P O U L T E R	
S T A L L I N	
<p>NOTES:</p> <p>1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.</p> <p>2. FINISH FLOOR IS 4" CONCRETE ON 2" GYPSUM BOARD OVER INSULATION.</p> <p>3. ROOFING IS 2" POLYURETHANE FOAM INSULATION OVER 1/2" GYPSUM BOARD OVER 2x6 RAFTERS ON 2x12 TRUSSES.</p> <p>4. MECHANICAL ROOMS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.</p> <p>5. ALL WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.</p> <p>6. ALL CEILING SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.</p> <p>7. ALL FLOORS SHALL BE FINISHED WITH 4" CONCRETE ON 2" GYPSUM BOARD OVER INSULATION.</p> <p>8. ALL ROOFING SHALL BE FINISHED WITH 2" POLYURETHANE FOAM INSULATION OVER 1/2" GYPSUM BOARD OVER 2x6 RAFTERS ON 2x12 TRUSSES.</p> <p>9. ALL MECHANICAL ROOMS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.</p> <p>10. ALL WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.</p> <p>11. ALL CEILING SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.</p> <p>12. ALL FLOORS SHALL BE FINISHED WITH 4" CONCRETE ON 2" GYPSUM BOARD OVER INSULATION.</p> <p>13. ALL ROOFING SHALL BE FINISHED WITH 2" POLYURETHANE FOAM INSULATION OVER 1/2" GYPSUM BOARD OVER 2x6 RAFTERS ON 2x12 TRUSSES.</p>	

① ROOF PLAN  
SCALE: 1/4"=1'-0"



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# UNOFFICIAL COPY

NOTES:

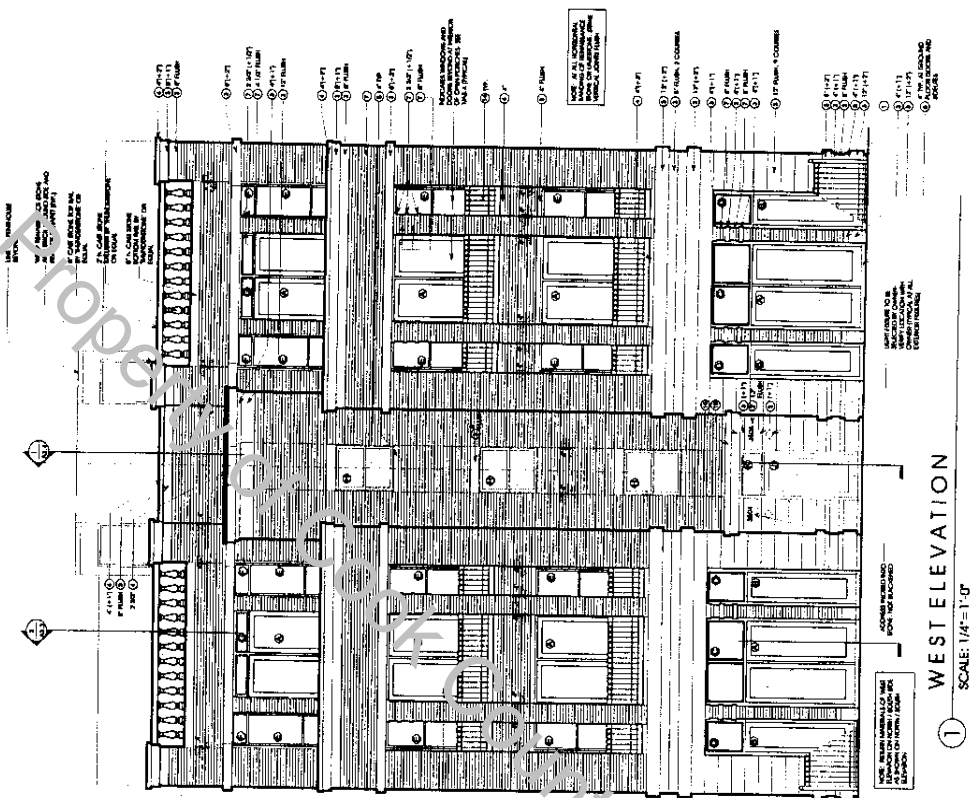
1. GENERAL NOTES TO ARCHITECTURE
2. ARCHITECTURE
3. STRUCTURE
4. MECHANICAL, ELECTRICAL, PLUMBING (MEP)
5. CIVIL
6. LANDSCAPE ARCHITECTURE
7. INTERIORS
8. EXTERIORS
9. SPECIALTIES
10. FINISHES
11. SCHEDULES
12. SPECIFICATIONS
13. CONTRACT ADMINISTRATION
14. PROJECT ADMINISTRATION
15. GENERAL CONTRACTOR
16. SUBCONTRACTORS
17. SUPPLIERS
18. MANUFACTURERS
19. INSTALLERS
20. MAINTENANCE PERSONNEL

2940 N. SHEPHERD  
CHICAGO, ILLINOIS  
312 988 3112

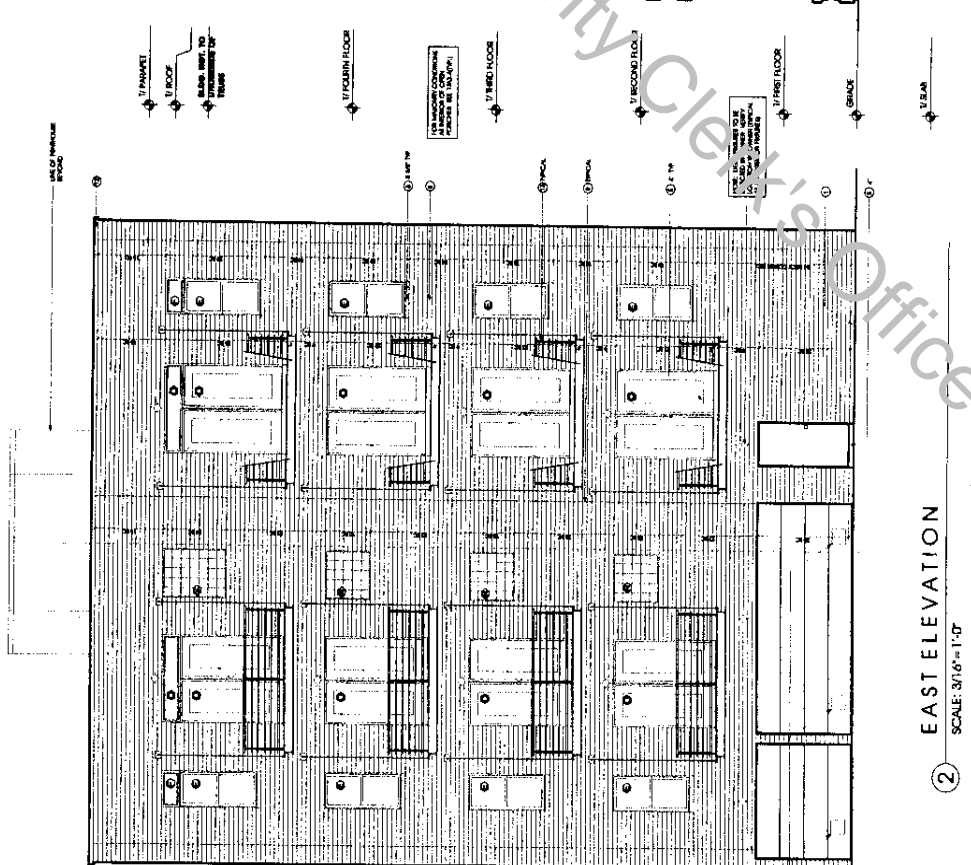
**2940 N. SHEPHERD**  
CHICAGO, IL

EAST AND WEST ELEVATIONS

A2.



WEST ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 3/16" = 1'-0"

NOTE: REFER TO ARCHITECTURE FOR ALL FINISHES AND MATERIALS. REFER TO MECHANICAL, ELECTRICAL, PLUMBING (MEP) FOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING DETAILS. REFER TO CIVIL FOR ALL CIVIL DETAILS. REFER TO LANDSCAPE ARCHITECTURE FOR ALL LANDSCAPE ARCHITECTURE DETAILS. REFER TO INTERIORS FOR ALL INTERIOR DETAILS. REFER TO EXTERIORS FOR ALL EXTERIOR DETAILS. REFER TO SPECIALTIES FOR ALL SPECIALTY DETAILS. REFER TO FINISHES FOR ALL FINISH DETAILS. REFER TO SCHEDULES FOR ALL SCHEDULE DETAILS. REFER TO SPECIFICATIONS FOR ALL SPECIFICATION DETAILS. REFER TO CONTRACT ADMINISTRATION FOR ALL CONTRACT ADMINISTRATION DETAILS. REFER TO PROJECT ADMINISTRATION FOR ALL PROJECT ADMINISTRATION DETAILS. REFER TO GENERAL CONTRACTOR FOR ALL GENERAL CONTRACTOR DETAILS. REFER TO SUBCONTRACTORS FOR ALL SUBCONTRACTOR DETAILS. REFER TO SUPPLIERS FOR ALL SUPPLIER DETAILS. REFER TO MANUFACTURERS FOR ALL MANUFACTURER DETAILS. REFER TO INSTALLERS FOR ALL INSTALLER DETAILS. REFER TO MAINTENANCE PERSONNEL FOR ALL MAINTENANCE PERSONNEL DETAILS.

# UNOFFICIAL COPY

### NOTES:

1. GENERAL NOTES
2. Foundation
3. Structural Steel
4. Masonry
5. Concrete
6. Wood
7. Glass
8. Mechanical
9. Electrical
10. Plumbing
11. Fire Protection
12. Energy Conservation
13. Accessibility
14. Safety
15. Other

NO.	REVISION	DATE	BY	DESCRIPTION
1	AS SHOWN			
2				
3				
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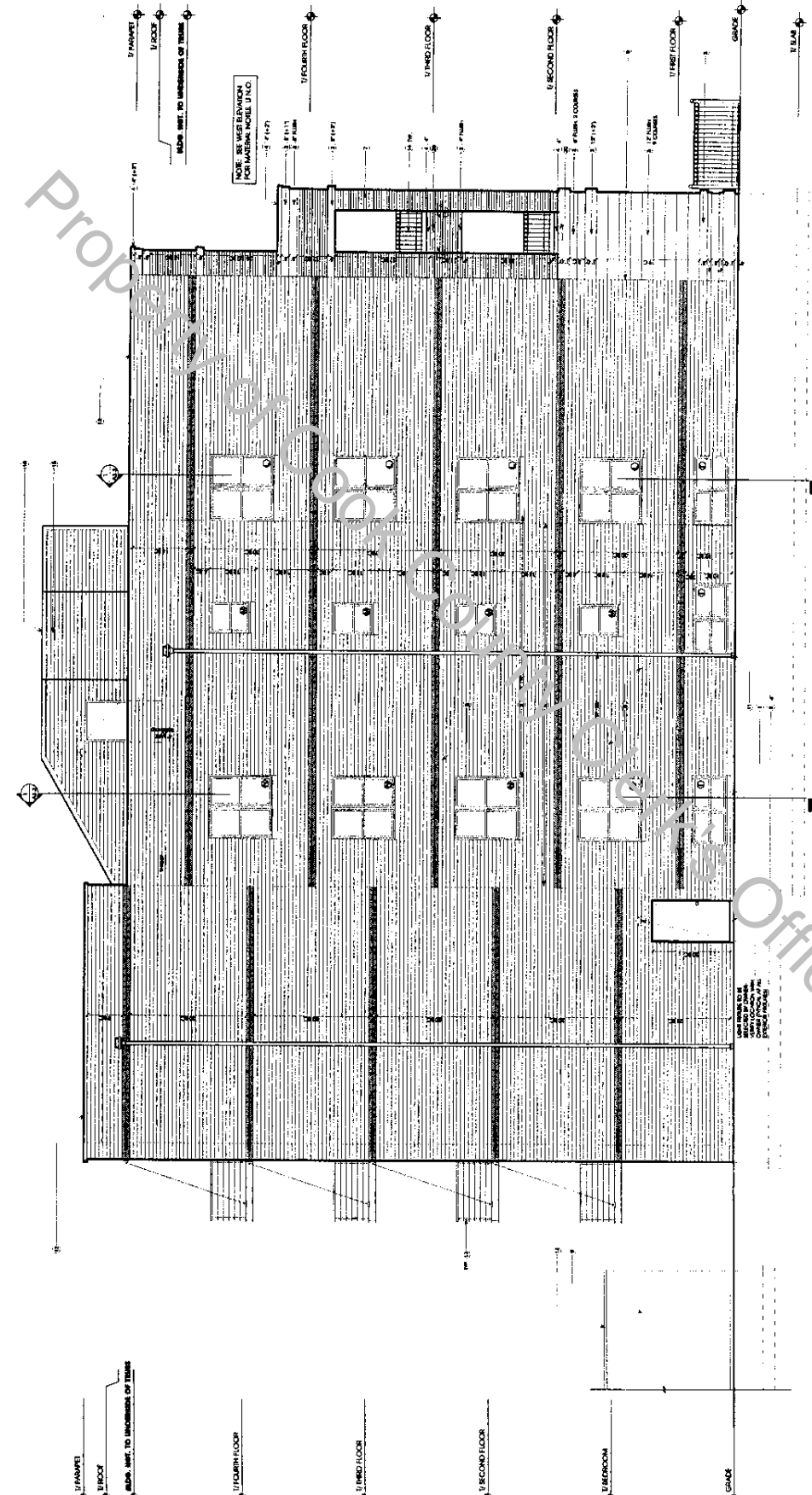
**SULLIVAN**  
**CONSULTANTS**

700 N. FRANKLIN  
 CHICAGO, ILLINOIS  
 60610-3912

**2940 N. SHEFFIELD**  
 CHICAGO, ILL.

NORTH/SOUTH ELEVATION

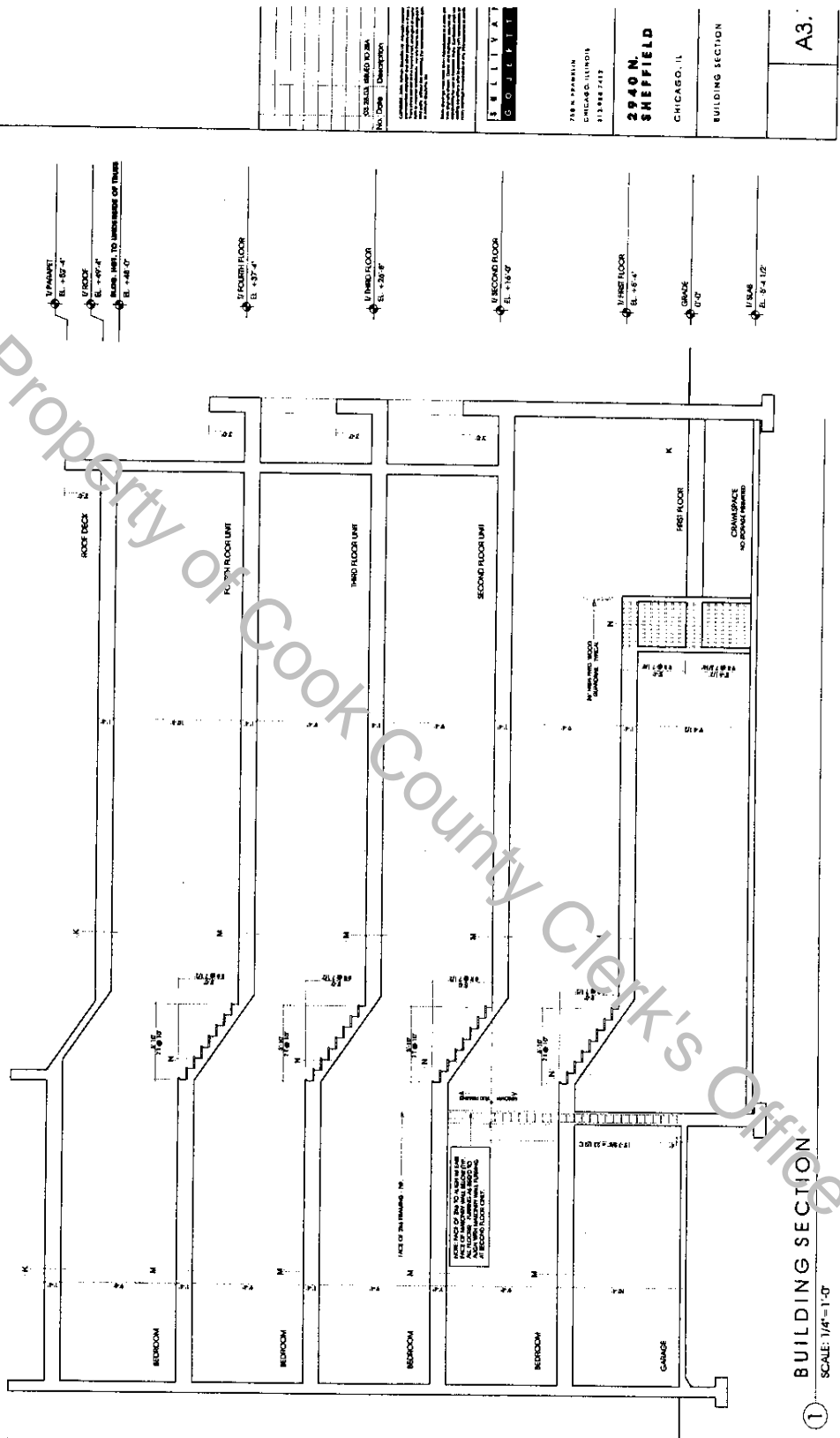
A2.1



① NORTH/SOUTH ELEVATION  
 SCALE 1/4" = 1'-0"

# UNOFFICIAL COPY

NOTES:



- 1/1 FINISH E. +154'-4"
- 1/2 ROOF E. +157'-4"
- BASES SHOWN TO UNITS OF FINISH E. +152'-0"
- 1/4 FOURTH FLOOR E. +142'-4"
- 1/1 THIRD FLOOR E. +131'-8"
- 1/2 SECOND FLOOR E. +121'-0"
- 1/1 BEDROOM E. +10'-4"
- GRADE 0'-0"

- 1/1 FINISH E. +152'-4"
- 1/2 ROOF E. +157'-4"
- BASES SHOWN TO UNITS OF FINISH E. +148'-0"
- 1/4 FOURTH FLOOR E. +137'-4"
- 1/1 THIRD FLOOR E. +126'-8"
- 1/2 SECOND FLOOR E. +116'-0"
- 1/1 FIRST FLOOR E. +10'-4"
- GRADE 0'-0"
- 1/2 GARAGE E. 8'-4 1/2"

No.	Date	Description

**C O O K C O U N T Y**

726 N. SPARKLIN  
CHICAGO, ILLINOIS  
60642-3417

**2940 N. SHEFFIELD**  
CHICAGO, IL

BUILDING SECTION

A3.

1 BUILDING SECTION  
SCALE: 1/4"=1'-0"