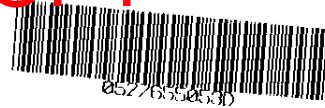


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5004500

QUIT CLAIM DEED

Illinois Statutory



Doc#: 0527655053 Fee: \$30.00
Eugene "Gene" Moore RHSP Fee: \$10.00
Cook County Recorder of Deeds
Date: 10/03/2005 10:05 AM Pg: 1 of 4

Mail To:

John T. Clery, P.C.
1111 Plaza Drive Suite 580
Schaumburg, Illinois 60173

Tax Bills to:

Jill Rempert
216 Carver Lane 1322 Meadowcreek Ln 9AL
Schaumburg, IL 60193 Batavia IL 60510 9UR

THE GRANTORS, Rempert Properties, L.L.C.

of the City of Batavia, County of Kane, State of Illinois for and in consideration of Ten Dollars and NO/100 ----- (\$10.00) DOLLARS, and other good and valuable considerations in hand paid, CONVEYS and QUIT CLAIMS to

Jill A. Rempert

all interest in the following described Real Estate situated in the County of Cook in the State of Illinois to wit:

Lot 234 in Weathersfield Unit 3, being a subdivision of part of the Southeast ¼ of Section 20, Township 41 North, Range 10, East of the Third Principal Meridian, in Cook County, Illinois.

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption of the State of Illinois.

Permanent Real Estate Index Number (s): 07-20-405-007

Property Address: 216 Carver Lane, Schaumburg, IL 60193

Dated this 29 day of August, 2005,

Jill A. Rempert, for Rempert Properties, L.L.C.


316
4x

UNOFFICIAL COPY

State of Illinois)
)ss.
County of Cook)

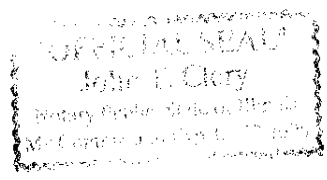
I, the undersigned, a Notary Public in and of said County, in the State of aforesaid, DO
HEREBY CERTIFY that, Jill A. Rempert, a married woman, personally known to me to be the
same persons whose names subscribed to the foregoing instrument, as her free and voluntary act,
for the uses and purposes therein set forth, including the release and waiver of the right of
homestead

Given under my hand and official seal, this 29 day of August, 2005

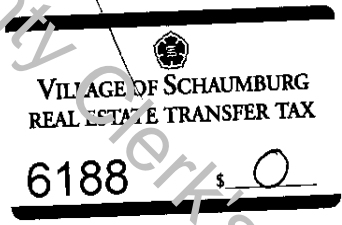


Notary Public

Commission expires 4-23-06



Prepared by:
John T. Clery, P.C.
Attorney at Law
1111 Plaza Drive Suite 580
Schaumburg, Illinois 60173



Property of Cook County Clerk's Office

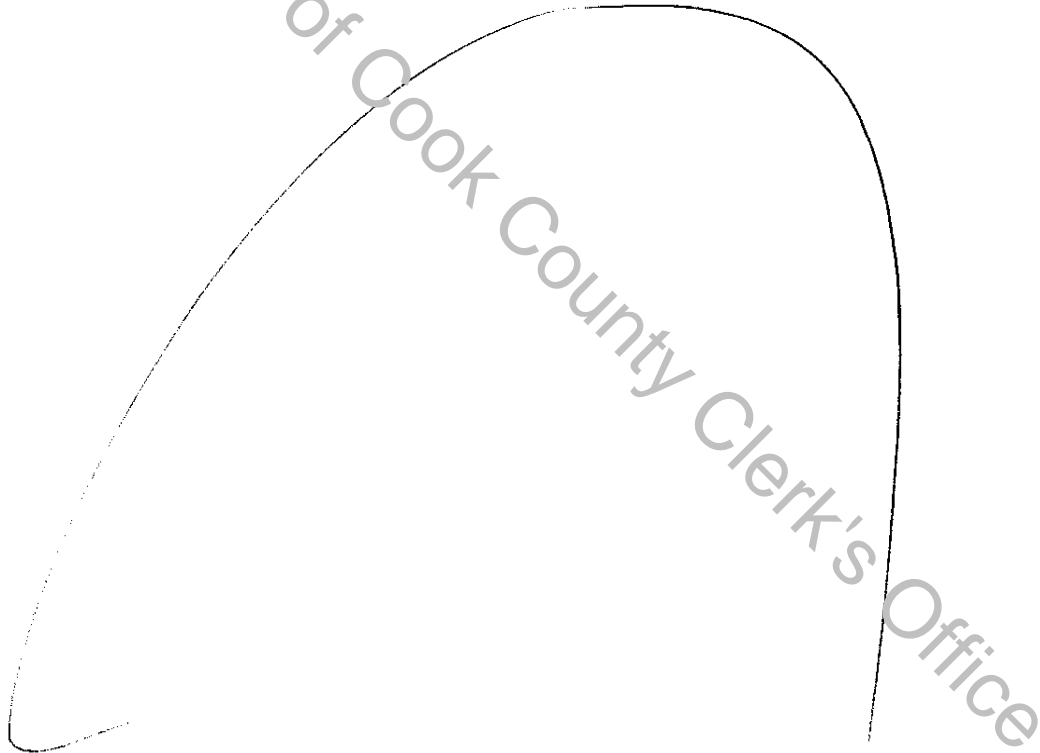
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File No.: 5004500

EXHIBIT A

LOT 234 IN WEATHERSFIELD UNIT 3, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 41 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 07-20-405-007



UNOFFICIAL COPY

STATEMENT BY GRANTOR AND GRANTEE

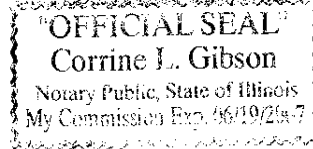
The Grantor or his agent affirms that, to the best of his knowledge, the name of the Grantee shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois Corporation of foreign Corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire title to real estate under the laws of the State of Illinois.

Dated: Aug 29, 2005

[Signature]
Grantor or Agent

Subscribed and sworn to before me this _____ day of _____, 2005.

Corrine L. Gibson
Notary Public



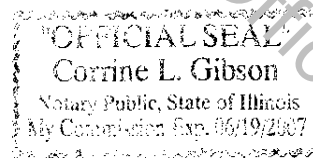
The Grantee or his agent affirms and verifies that the name of the Grantee shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois Corporation of foreign Corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire title to real estate under the laws of the State of Illinois.

Dated: Aug 29, 2005

[Signature]
Grantee or Agent

Subscribed and sworn to before me this _____ day of _____, 2005.

Corrine L. Gibson
Notary Public



Any person who knowingly submits a false statement concerning the identity of a grantee shall be guilty of a Class C misdemeanor for the first offense and of a Class A misdemeanor for subsequent offenses.