FFICIAL COPY

OUIT CLAIM DEE Statutory (ILLINOIS) (General)

THE GRANTOR (name and address)

Bu Ung Kang and Jeong Hee Kang, husband and wife

2315 Castilian Circle

of the Village of Northbrook, County of Cook, State of Illinois for and in consideration of Ten and 00/100 (\$10.00) in hand paid CONVEYS and QUIT CLAIMS to



0612234116 Fee: \$28.50 Eugene "Gene" Moore RHSP Fee:\$10.00 Cook County Recorder of Deeds Date: 05/02/2006 03:15 PM Pg: 1 of 3

Bu Ung Kang and Jeong Hee Kang, Co-trustees of Bu Ung Kang Trust dated April 12, 2006, as to an undivided ½ interest and Bu Ung Kang and Jeong Hee Kang, Co-Trustees of the Jeong Hee Kang Trust dated April 12, 2006, as to an undivided ½ interest not as joint tenants, but as tenants in common, all right, title and interest in the following described Real Estate situated in the County of Cook in the State of Illinois, to wit, subject to covenants, conditions and restrictions of record; private, public and utility easements and roads and highways, if any, general taxes for the year 2005 and subsequent years. (See the attriched legal description), and hereby releasing and waiving, if applicable, all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Permanent Index Number (PIN): 16-05-200-003

Address(es) of Real estate: 5931-39 W. North Avenue, Chicago, IL 60639/1546-52 N. Mason

Dated this 12th day of April, 2006.

Bu Ung Kang	Kanf	— Jec	Tecnf ong Hee Kang	fer Kanf
State of Illinois) / ss.		HOTH	OFFICIAL SEAL JAE CHOI KIM RY PUBLIC: STATE OF ILLINOIS
County of Cook	,)		₹ MYC	OMMISSION SAPIRES:06/20/06

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Bu Ung Kang and Jeong Hee Kang, personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 12th day of Ap	pril, 2006.
Commission expires:	Notary Public
This instrument prepared by: Jae Choi Kim, Boodell & Domanski 205 N. Michigan Avenue, Suite 430	is, LLC 07, Chicago, Illinois 60601.

0612234116 Page: 2 of 3

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LEGAL DESCRIPTION FOR: 5931-39 W. North Avenue, Chicago, IL 60639/1546-52 N. Mason

Lots 1, 2 and 3 in Block 8 in Wassell Bramberg and Company's Austin Home Addition, being a subdivision of the West half of the West half of the North East quarter of Section 5, Township 39 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

This Deed is exempt under the provisions of Section 4(e) of the Illinois Transfer Tax Act.

Attorney for Grantor

Mail to:

Jae Choi Kim Boodell & Domanskis, LLC 205 N. Michigan Avenue, Suite 4307 Chicago, Illinois 60601 Send subsequent tax bills to:

Bu Ung Kang and Jeong Hee Kang 2315 Castilian Circle Northbrook, IL 60062

0612234116 Page: 3 of 3

The GRANTOR or his/her agent affirms that, to the best of his/her knowledge, the name of the GRANTEE shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire title to real estate under the laws of the State of Illinois.

2006 Dated April

Subscribed and sworn to before me by the said Jae Choi Kim this 12th day of April, 2006.

Notary Public:

OFFICIAL SEAL AATAT M V BLUK

Jae Choi Kim, Agent

STATE OF ILLINOIS 350N EXPIRES:06/02/07

****************** The GRANTEE or his/her agent affirms and verifies that the name of the GRANTEE shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire and hold title to real estate under the laws of the State of Illinois.

Dated April 12, 2006

Subscribed and sworn to before me by the said Jae Choi Kim this 12th day of April, 2006.

Notary Public: _

OFFICIAL SEAL KAREN M TATAK NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES:06/02/07

Jae Choi Kim, Agent

Any person who knowingly submits a false statement concerning the identity of a grantee shall be guilty of a Class C Note: misdemeanor for the first offense and a Class A misdemeanor for subsequent offenses.

[Attach to Deed or ABI to be recorded in Cook County, if exempt under the provisions of Section 4 of Illinois Real Estate Transfer Tax Act.]