



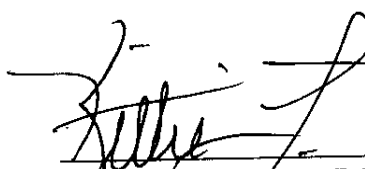
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Eugene "Gene" Moore
Cook County Recorder of Deeds
Date: 05/14/2009 12:09 PM Pg: 1 of 50

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PIN 06-27-201-019-0000
06-27-201-020-0000

CERTIFICATION

I, Kittie L. Kopitke, do hereby certify that I am the duly elected Village Clerk of the Village of Streamwood, Cook County, Illinois, and the keeper of the books and records of the Village of Streamwood, and I do hereby certify that Ordinance Number 2008-24 is the true and correct copy of an Ordinance presented, passed and recorded by the President and Board of Trustees of the Village of Streamwood on the 2nd day of October 2008 by a vote of 5 Ayes, 0 Nays with 1 Trustee absent.


Kittie L. Kopitke, MMC
Village Clerk



AFTER RECORDING, PLEASE RETURN TO:
Kittie L. Kopitke, Village Clerk
Village of Streamwood
301 East Irving Park Road
Streamwood, IL 60107
(630-736-3806)

Box 400-CTCC

UNOFFICIAL COPY

VILLAGE OF STREAMWOOD

ORDINANCE NO. 2008 - 24

AN ORDINANCE APPROVING AN AMENDMENT TO
THE PLANNED UNIT DEVELOPMENT (PUD) FOR
HARRIS BANK

ADOPTED BY THE BOARD OF TRUSTEES
OF THE VILLAGE OF STREAMWOOD
THIS 2nd DAY OF October, 2008

Published in pamphlet form by authority of the Board of Trustees
of the Village of Streamwood, Cook County, Illinois
this 2nd day of October, 2008

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ORDINANCE NO. 2008 - 24

**AN ORDINANCE APPROVING AN AMENDMENT TO
THE PLANNED UNIT DEVELOPMENT (PUD) FOR
HARRIS BANK**

WHEREAS, Harris Bank is the owner of the subject property, legally described in Exhibit "A," attached hereto and made a part hereof and has petitioned for a modification to the Planned Unit Development Agreement approved by Ordinance 2006-04, which authorized a Special Use Permit for the Planned Unit Development Agreement and 2006-05 which authorized the execution of the Planned Unit Development Agreement for the subject property; and

WHEREAS, a modification is sought to allow a U-Stor-It retail and storage facility, in a C-2 Commercial PUD district; and

WHEREAS, public notice of hearing on said application was published in the Daily Herald of Paddock Publications, Inc. on June 20, 2008 being a paper having general circulation within the Village of Streamwood, as required by Illinois Statutes and the ordinances of the Village of Streamwood; and

WHEREAS, a public hearing was conducted by the Plan Commission on said application on July 15, 2008 and continued on August 19, 2008, at which hearing the Plan Commission forwarded its recommendation for approval of the application, subject to certain conditions, which have been satisfied by the applicant, to the President and Board of Trustees of the Village of Streamwood; and

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WHEREAS, the Village Board has duly considered the Plan Commission's findings and recommendations, and the requested amendment to the Harris Bank Planned Unit Development Agreement.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Streamwood, Cook County, Illinois as follows:

SECTION ONE: That the Village President is hereby authorized to execute on behalf of the Village, and the Village Clerk is authorized to attest to, the First Amendment to the Planned Unit Development Agreement attached hereto as Exhibit "B" and that the Harris Bank Planned Unit Development Agreement dated February 2, 2006, shall thereby be amended to allow a U-Stor-It retail and storage facility in a C-2 Commercial PUD district.

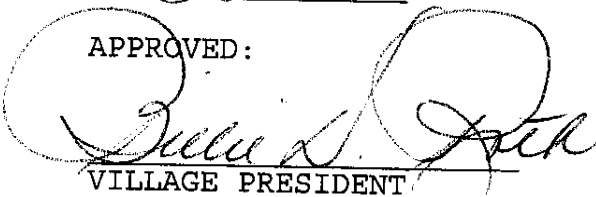
SECTION TWO: That all ordinances and resolutions or parts thereof in conflict with the provisions of this ordinance are, to the extent of such conflict, expressly repealed.

SECTION THREE: That this ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

ROLL CALL VOTE:	AYES	<u>5</u>
	NAYS	<u>0</u>
	ABSTENTIONS	<u>0</u>
	ABSENT	<u>1</u>

PASSED AND APPROVED this 2nd day of October 2008.

APPROVED:


VILLAGE PRESIDENT

ATTEST:

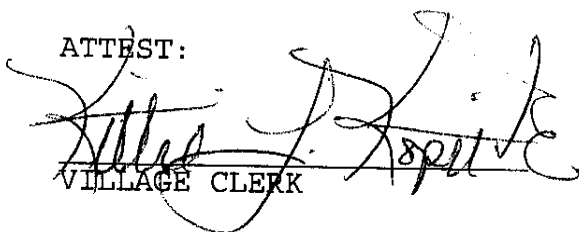

VILLAGE CLERK

EXHIBIT "A"
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Lot 2 in Harris Bank Streamwood, a resubdivision of Lots 1 and 2 in Lundstrom and Rahlf's Subdivision being a subdivision of part of the Northeast $\frac{1}{4}$ of Section 27, Township 41 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded June 22, 1988 as Document 88274085, in Cook County, Illinois.

Property of Cook County Clerk's Office

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Execution Copy

FIRST AMENDMENT TO PLANNED DEVELOPMENT AGREEMENT

This First Amendment to Planned Development Agreement is made and entered into this 15th day of APRIL, 2009 (herein called the "**Amendment**"), by and between the VILLAGE OF STREAMWOOD, a municipal corporation of the County of Cook, State of Illinois (herein called the "**Village**") by and through the President and Board of Trustees of the Village (herein collectively called the "**Corporate Authorities**"), HARRIS, N.A., a national banking association (herein called the "**Harris**"), and INTERNATIONAL STORAGE PROPERTIES, INC, an Illinois corporation, (herein called the "**Developer**").

WITNESSETH:

WHEREAS, the Harris Bank Streamwood Subdivision Property located in the Village of Streamwood, County of Cook, State of Illinois, legally described in Exhibit A-1 attached hereto (herein called the "**Property**") is subject to a Planned Development authorized by the Village and the Corporate Authorities in Ordinance No. 2006-4 and Ordinance No. 2006-5 (the "**Ordinance**"); and

WHEREAS, the Village of Streamwood has established a C-2 zoning classification for the Property with a special use as a commercial Planned Development (herein called the "**Planned Development**") pursuant to a certain Planned Development Agreement, dated February 2, 2006 (herein called the "**Original Agreement**"), by and between the Village and Harris; and

WHEREAS, Harris is the record owner of the Property, and Harris and the Developer entered into a certain Agreement to Purchase Real Estate, dated January 24, 2008 (herein called the "**Purchase Agreement**"), wherein Harris agreed to sell and transfer to Developer and the Developer agreed to purchase and acquire from Harris a certain portion of the Property legally described on Exhibit A-2 attached hereto (herein called "**Lot 2**"), with Harris retaining all rights, titles and interests in the remainder of the Property as herein legally described on Exhibit A-3 attached hereto (herein called "**Lot 1**"); and

WHEREAS, Developer desires and proposes to amend said Planned Development to allow on Lot 2 a self service storage facility with retail space on the Irving Park frontage; and

WHEREAS, the parties desire to amend, modify and supplement certain provisions of the Original Agreement as provided herein (the Original Agreement, as amended by this Amendment, being collectively called the "**Agreement**"); and

WHEREAS, all terms used herein that are defined in the Original Agreement and not otherwise defined herein shall have the respective meanings ascribed to such terms in the Original Agreement; and

WHEREAS, this Amendment shall become effective simultaneously with, and only at such time as, the Developer purchases Lot 2 from Harris pursuant to the Purchase Agreement (herein called the "**Closing**"); and

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WHEREAS, this Amendment was submitted to the Corporate Authorities and a public hearing was held thereon pursuant to notice as provided by ordinance; and

WHEREAS, pursuant to due notice and advertisement, the Plan Commission of the Village has held a public hearing and made their recommendations with respect to the amendment of the Planned Development; and

WHEREAS, the Corporate Authorities of the Village after due and careful consideration have concluded that the zoning and development of Lot 2 on the terms and conditions set forth in the Agreement would further enable the Village to control the development of the area and would serve the best interests of the Village.

NOW, THEREFORE, in consideration of the premises hereof and the mutual covenants and agreements herein set forth, the parties hereby agree as follows:

1. **Recitals.** The above recitals are hereby incorporated into and made a part of the Agreement.
2. **Ratification.** Except solely as herein specifically modified, amended or supplemented, the terms, provisions and conditions of the Original Agreement in effect immediately preceding the effectiveness of this Amendment shall remain unchanged and in full force and effect.
3. **Approval of Uses of Lot 2.** The Corporate Authorities hereby approve the self service storage facility with retail space on the Irving Road frontage on Lot 2 of the Property within the C-2 Commercial District and shall immediately upon the execution of this Agreement by the Parties, adopt proper, valid and binding ordinances, granting an amendment to the Commercial Planned Development, with variations, and approving the proposed uses for Lot 2 on the Property. The Corporate Authorities hereby approve the self-storage facility and retail uses along the Route 19 street frontage all as shown on the Site Plan attached hereto as Exhibit B (herein called the "Lot 2 Site Plan").
4. **Exceptions to PUD.** The Corporate Authorities hereby approve, as a part of the self service storage/retail facility, a variation to permit the construction of two buildings on Lot 2, and a variation from the required parking for the storage use so as to provide forty (40) parking spaces in lieu of the required eighty (80) spaces for the entire storage/retail project, all as shown on the Lot 2 Site Plan, attached as Exhibit B.
5. **Conditions to Zoning.** The Developer hereby agrees to satisfy the following requirements within the time periods set forth below:
 - a) **Shared Access and Shared Maintenance.** The Developer and Harris have entered into a certain First Amendment to Declaration of protective covenants for Harris N.A. Property In Streamwood, Illinois, of even date herewith (herein called the "Amendment to Declaration") and to become effective, if at all, simultaneously herewith upon the Closing, which among other things provides for shared access and agreements

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to maintain the common ingress/egress access point on Irving Park Road, the stormwater quality structures and the detention facility that services both Lot 1 and Lot 2 of the Property. The Amendment to Declaration is being submitted to the review and approval of the Village simultaneously herewith.

- b) Plat of Easement Grant. In furtherance of the Amendment to Declaration, the parties agree to execute a Plat of Easement Grant and Abrogation in which Harris, as the Owner of the Property abrogates a portion of the easement created for stormwater detention and grants an easement for stormwater detention in order to comply with the engineering plans approved by the Village. The Plat of Easement Grant and Abrogation is attached hereto as Exhibit C.
- c) Fencing. The Developer shall provide fencing on Lot 2 in accordance with Exhibit B.
- d) Grading. The Developer of Lot 2 shall grade Lot 2 in substantial compliance with the Grading Plan attached hereto as Exhibit E.
- e) Photometrics. The Developer of Lot 2 shall install lighting on Lot 2 in substantial compliance with the Photometric Plan attached hereto as Exhibit F.
- f) Signage. The Developer of Lot 2 shall install signage on Lot 2 in substantial compliance with the Signage Plan attached hereto as Exhibit G.
- g) Architectural Control. The Developer of Lot 2 shall construct its planned improvements on Lot 2 in accordance with the Building Elevations attached hereto as Exhibit H-1 through H-4.
- h) Landscaping. The Developer of Lot 2 shall install landscaping on Lot 2 in accordance with the Landscaping Plans attached as Exhibit I-1 and I-2.
- i) Storage and Security Restrictions on Lot 2. During the period in which Lot 2 is improved with and used for self storage all exterior storage shall be prohibited. There shall be no outside storage, including but not limited to, vehicles, trailers, boats, recreational vehicles, and/or materials of any kind. Any automobile stored inside a storage unit must be licensed and able to be driven under its own power. In no event shall any such vehicle have more than one quarter (1/4) tank of gasoline in the automobile when it is stored. Storage of contraband, food, or anything living or dead shall be prohibited in any storage unit. There shall be no electrical outlets in any storage unit and no storage unit may be used for sleeping or office uses.

The internal security system shall include the following: camera system; all units to be locked (even if vacant); a full time manager; a security touch pad system with individual codes; and photo identification shall be required to rent a storage unit. The storage facility shall be fully locked after closing with an option on special occasions to gain entry after hours. Office hours shall be 9 a.m. to 6 p.m. Monday through Saturday and 10 a.m. to 4 p.m. on Sundays. Gate hours (i.e. regular access to the facility) shall be from 6 a.m. to 9 p.m. daily.

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6. **Compliance with Village Ordinances.** The Developer agrees to comply with all ordinances of the Village of Streamwood, as amended from time to time, with respect to the ownership and operation of Lot 2, except as such ordinances may be modified or waived as set forth herein; and provided further that all new ordinances, amendments, rules and regulations relating to zoning, building and subdivision of land adopted after the date of this Agreement shall not be arbitrarily or discriminatorily applied to Lot 2, but shall be equally applicable to all property similarly zoned and situated to the extent possible. In the event, however, of any conflict between this Agreement and the Zoning Ordinance, the Subdivision Ordinance and any other codes or ordinances of the Village, the provisions of this Agreement shall prevail to the extent of any such conflict or inconsistency.

7. **Water and Sanitary Sewer Provisions For Lot 2.**

a) **Installation.** Developer shall have the right to construct and install at its expense all necessary on-site water mains to service Lot 2 to be located on Lot 2 and any future expansions or additions thereto. All water mains shall be constructed and installed in accordance with final engineering plans approved by the Village and attached hereto as Exhibit J. The Village represents that there is adequate water to service the buildings to be located on Lot 2.

The Developer shall be permitted to tap on to the Village water system as shown on Exhibit J, the Final Engineering Plans approved by the Village Engineer;

The Corporate Authorities agree to cooperate with Developer and to use its best efforts to aid the Developer in obtaining permits from governmental agencies having jurisdiction as may be necessary to authorize connection from the proposed development on Lot 2 to the Village of Streamwood water system. The Developer further agrees to pay to the Village water tap on and connection fees pro rata, in accordance with the applicable Village Ordinances, at the time that the proposed buildings on Lot 2 are connected to such systems. Water mains serving Lot 2 shall be installed by the Developer at no expense to the Village and, except for service connections to the buildings, shall be dedicated to the Village and become a part of the Village water system maintained by the Village upon installation and acceptance by the Village through acceptance by the Corporate Authorities.

b) **Sanitary Sewer Provisions.** The Village represents that adequate sewerage capacity is available to service the development to be located on Lot 2 and future expansions and additions thereto.

The Developer shall be permitted to tap on to the Village sanitary system at points recommended by the Village Engineer.

The Corporate Authorities agree to cooperate with Developer and to use its best efforts to aid the Developer in obtaining permits from governmental agencies having jurisdiction as may be necessary to authorize connection from the proposed development on Lot 2 in the Village of Streamwood and the Metropolitan Water Reclamation District of Greater

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Chicago for the collection and treatment of sewage. Sanitary sewers serving Lot 2 shall be installed by the Developer at no expense to the Village and, except for service connections to the buildings, shall be dedicated to the Village and become a part of the Village sewer system maintained by the Village upon installation and acceptance by the Village through acceptance by the Corporate Authorities. The Corporate Authorities agree to maintain and operate such sewer system.

8. **Exhibits.** The following Exhibits, some of which were presented in testimony given by the Developer or the witnesses during the hearings held before the Plan Commission and the Corporate Authorities prior to the execution of this Agreement, are hereby incorporated by reference herein, made a part hereof and designated as shown below. This Agreement, upon execution by the parties, together with copies of all Exhibits, shall be kept on file with the Village Clerk and be available for inspection to the parties hereto.

EXHIBIT A-1	Legal Description of the Property
EXHIBIT A-2	Legal Description of Lot 2
EXHIBIT A-3	Legal Description of Lot 1
EXHIBIT B	Lot 2 Site Plan
EXHIBIT C	Plat of Easement Grant and Abrogation
EXHIBIT D	Intentionally Omitted
EXHIBIT E	Grading
EXHIBIT F	Photometrics (Lighting)
EXHIBIT G	Signage
EXHIBIT H-1 to H-4	Building Elevations
EXHIBIT I-1 and I-2	Landscaping Plans
EXHIBIT J	Final Engineering

9. **Fees Paid by Developer.** Developer shall reimburse the Village for reasonable costs incurred by the Village in executing and carrying out the terms of this Amendment, planning, engineering, traffic, legal consultants and other consultants in review of plans and other documents required in the zoning approval and development approvals from time to time. Any failure by Developer to reimburse the Village for any costs shall be a lien solely against Lot 2 and not against Lot 1. The Village represents that there are no unpaid recapture fees claimed against the Property as of the date of this Agreement.

10. **Facilitation of Development.** Time is of the essence of this Agreement and all parties will make every reasonable effort to expedite the subject matters hereof. It is further understood and agreed that the successful consummation of this Amendment and the development of Lot 2 is in the best interests of all parties and requires their continued cooperation. The Developer does hereby evidence its intention to fully comply with all Village requirements, its willingness to discuss any matters of mutual interest that may arise, and its willingness to assist the Village in any reasonable manner. The Village does hereby evidence its intent to always cooperate in the resolution of mutual problems and its willingness to facilitate the development, as contemplated by the provisions of this Amendment.

11. **Enforceability of the Agreement.** The Agreement (as amended by this Amendment) shall be enforceable in any court of competent jurisdiction by any of the parties by

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an appropriate action at law or in equity to secure the performance of the covenants herein described. If any provision of the Agreement is held invalid, such provision shall be deemed to be excised heretofore and the invalidity thereof shall not affect any of the other provisions contained herein.

12. **Binding Effect of Amendment.** This Amendment shall be binding upon the Lot 2 and/or Lot 1, as applicable, the parties hereto and their respective successors and assigns.

13. **Corporate Capacities.** The parties acknowledge and agree that the individuals that are members of the group constituting the Corporate Authorities are entering into this Amendment in their official capacities as members of such group and shall have no personal liability in their individual capacities.

14. **Notices.** Any notice required pursuant to the provisions of this Agreement shall be in writing and be sent by personal delivery, facsimile transmission, or certified mail to the following addresses until notice of change of address is given and shall be deemed received on the fifth business day following deposit in the U.S. Mail.

If to Harris: Harris N.A,
Corporate Real Estate - Lower level West
111 W. Monroe Street,
Chicago, IL 60603
Attention: Hettie B. Ensign, Vice President
Telephone: 312-461-2174
Fax No. 312-765-8061

With a copy to: Bailey Borlack Nadelhoffer LLC
135 S. LaSalle Street, Suite 3950
Chicago, IL 60603
Attention: Sarah Nadelhoffer
Telephone: 312-629-0172
Fax: 312-629-0174

If to Developer: International Storage Properties, Inc.
920 Davis Road, Suite 102
Elgin, IL 60123
Attention: Lawrence Nora
Telephone: 847-622-9898
Fax: 847-622-1130

With a copy to: Schain, Burney, Ross & Citron, Ltd
222 N. LaSalle Street, Suite 1910
Chicago, IL 60601
Attention: Robert C. Kenny
Telephone: (312) 332-0200
Fax: (312) 332-4514

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If to Village: Village of Streamwood
301 East Irving Park Road
Streamwood, IL 60107-3000
Attention: Village Manager
Telephone: (630) 837-0200
Fax: (630) 837-0242

With a copy to: Storino, Ramello & Durkin
c/o Village of Streamwood
301 E. Irving Park Road
Streamwood, IL 60107-3000
Attention: Mary K. Connolly
Telephone: (630) 837-0200
Fax: (630) 837-0242

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[SIGNATURES APPEAR ON THE NEXT THREE PAGES]

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15. **Counterparts.** This Agreement may be executed in counterparts, each one of which shall be deemed an original but all of which, taken collectively, shall be deemed a single document.

IN WITNESS WHEREOF, the parties hereto have entered into this Amendment the date and year first above written.

VILLAGE OF STREAMWOOD

By: *Debbie S. Gath*
Its: Village President

ATTEST:
Kellie Spitt
Village Clerk

RCK/Chicago Capital Funds-Streamwood/Amendment to UD Agreement-Execution Copy-3-31-09



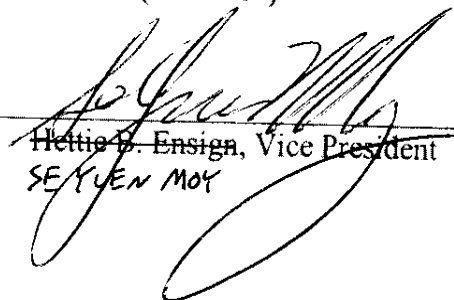
Cook County Clerk's Office

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15. **Counterparts.** This Agreement may be executed in counterparts, each one of which shall be deemed an original but all of which, taken collectively, shall be deemed a single document.

IN WITNESS WHEREOF, the parties hereto have entered into this Amendment the date and year first above written.


HARRIS N.A. ("Harris")

By: 
Hettie B. Ensign, Vice President
SE YUEN MOY

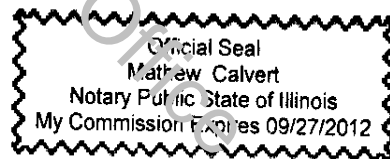
STATE OF ILLINOIS)
) ss.
COUNTY OF COOK)

I, the undersigned, MATHEW CALVERT, a Notary Public in and for and residing in said County in the State aforesaid, DO HEREBY CERTIFY that SE YUEN MOY, personally known to me to be the Vice President and Secretary of said HARRIS, N. A., whose name is subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such Vice President, s/he signed and delivered the said instrument and caused the seal of said Harris, N. A., to be affixed thereto pursuant to authority given by said Harris, N. A., as her/his free and voluntary act, and as the free and voluntary act and deed of said Harris, N.A., for the uses and purposes therein set forth.

Given under my hand and official seal, this 10th day of April, 2009.


Notary Public

My commission expires: 9/27/12



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Execution Copy

EXHIBIT A-1

LEGAL DESCRIPTION OF PROPERTY

Lot 1 and Lot 2 in Harris Bank Streamwood, a resubdivision of Lots 1 and 2 in Lundstrom and Rahlf's subdivision being a subdivision of part of the Northeast Quarter of Section 27, Township 41 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded June 22, 1988, as Document No. 8874085, in Cook County, Illinois

PERMANENT TAX NUMBERS (PINS): 06-27-201-01~~9~~ AND 06-27-201-0~~10~~²⁰

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EXHIBIT A-2

LEGAL DESCRIPTION OF LOT 2

Lot 2 in Harris Bank Streamwood, a resubdivision of Lots 1 and 2 in Lundstrom and Rahlf's subdivision, being a subdivision of part of the Northeast Quarter of Section 27, Township 41 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded June 22, 1988 as Document No. 88274085, in Cook County, Illinois.

PERMANENT TAX NUMBER (PIN): 06-27-201-⁰²⁰~~029~~

Property of Cook County Clerk's Office

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EXHIBIT A-3

LEGAL DESCRIPTION OF LOT 1

Lot 1 in Harris Bank Streamwood, a resubdivision of Lots 1 and 2 in Lundstrom and Rahlf's subdivision, being a subdivision of part of the Northeast Quarter of Section 27, Township 41 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded June 22, 1988 as Document No. 88274085, in Cook County, Illinois.

PERMANENT TAX NUMBER (PIN): 06-27-201-⁰¹⁹~~000~~

Property of Cook County Clerk's Office

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EXHIBIT B

Site Plan prepared for U-Stor-It, prepared by Sullivan, Goulette & Wilson Architects dated September 24, 2008.

Property of Cook County Clerk's Office

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EXHIBIT C

Plat of Easement Grant and Abrogation with Harris Bank Streamwood prepared by V3 Consultants dated June 4, 2008 and consisting of 2 pages.

Property of Cook County Clerk's Office

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EXHIBIT D

Intentionally Omitted.

Property of Cook County Clerk's Office

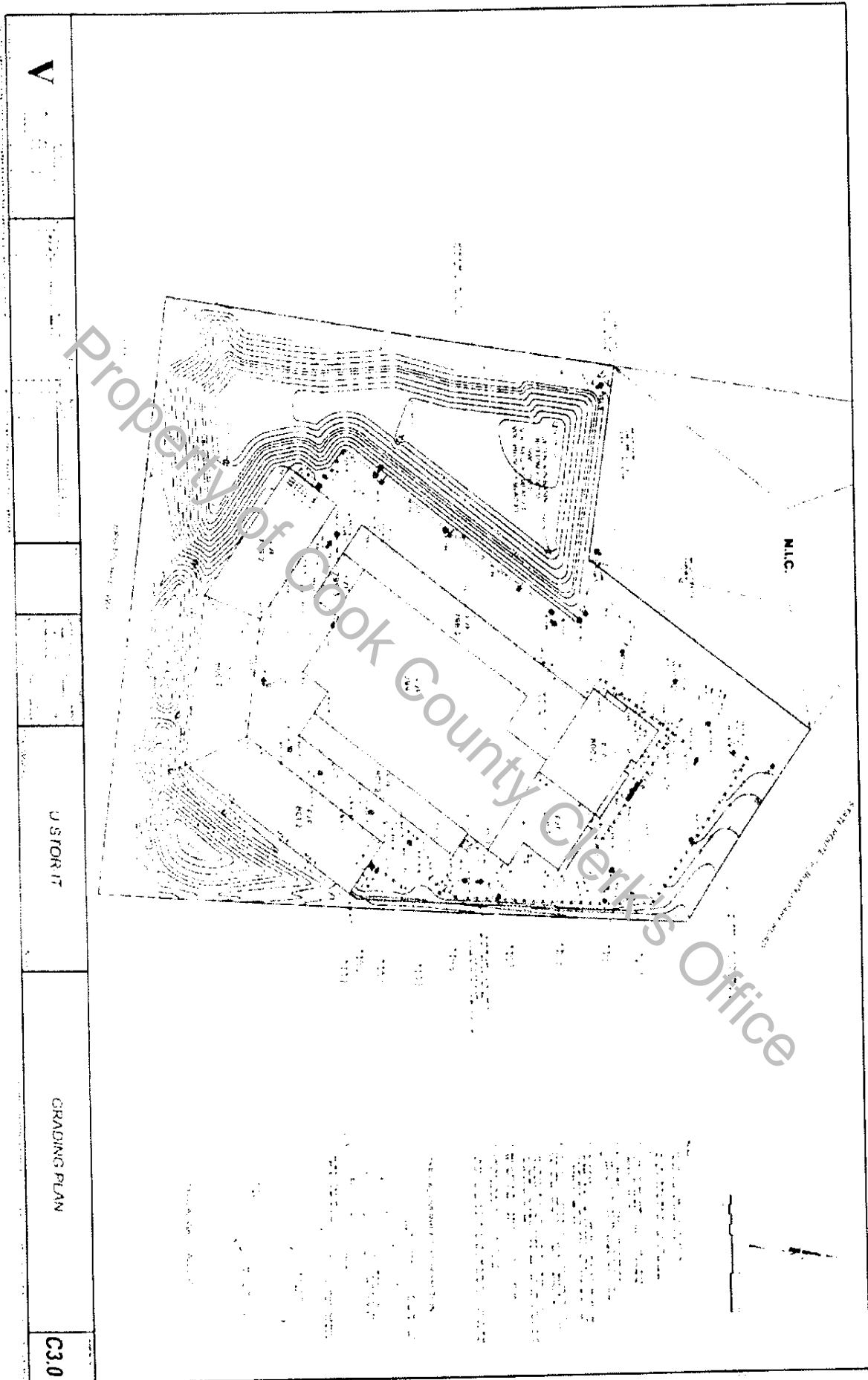
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EXHIBIT E

Grading Plan prepared by V3 Consultants dated August 5, 2008.

Property of Cook County Clerk's Office

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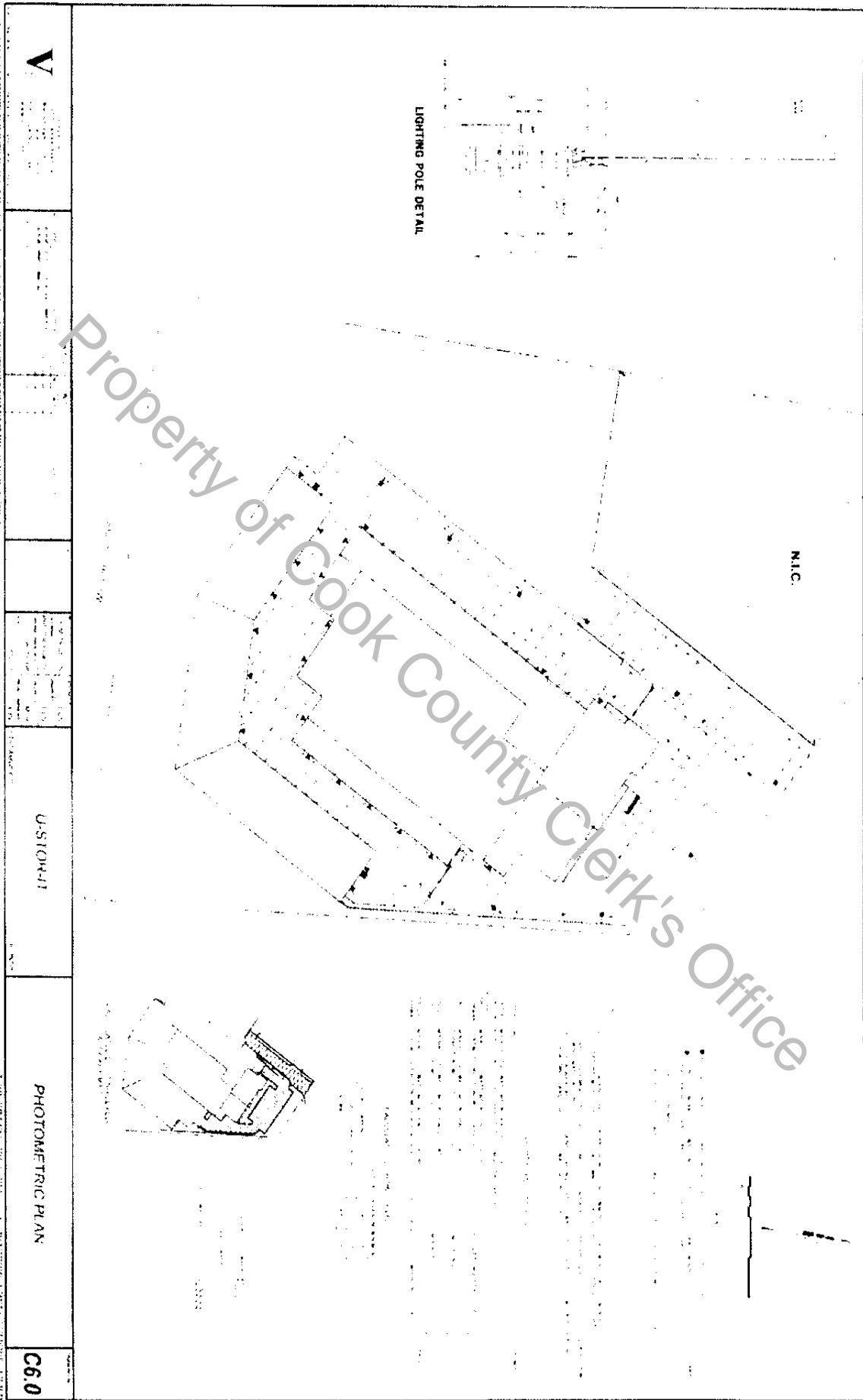
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EXHIBIT F

Photometric Plan prepared by V3 Consultants dated September 26, 2008.

Property of Cook County Clerk's Office

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V						U-SIGN-11	PHOTOMETRIC PLAN	C60
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EXHIBIT G

Signage Plan prepared by White Way Sign Company dated September 19, 2008.

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EXHIBITS H-1 TO H-4

Elevations prepared by Sullivan, Goulette & Wilson Architects:

H-1 North Elevation, dated August 5, 2008

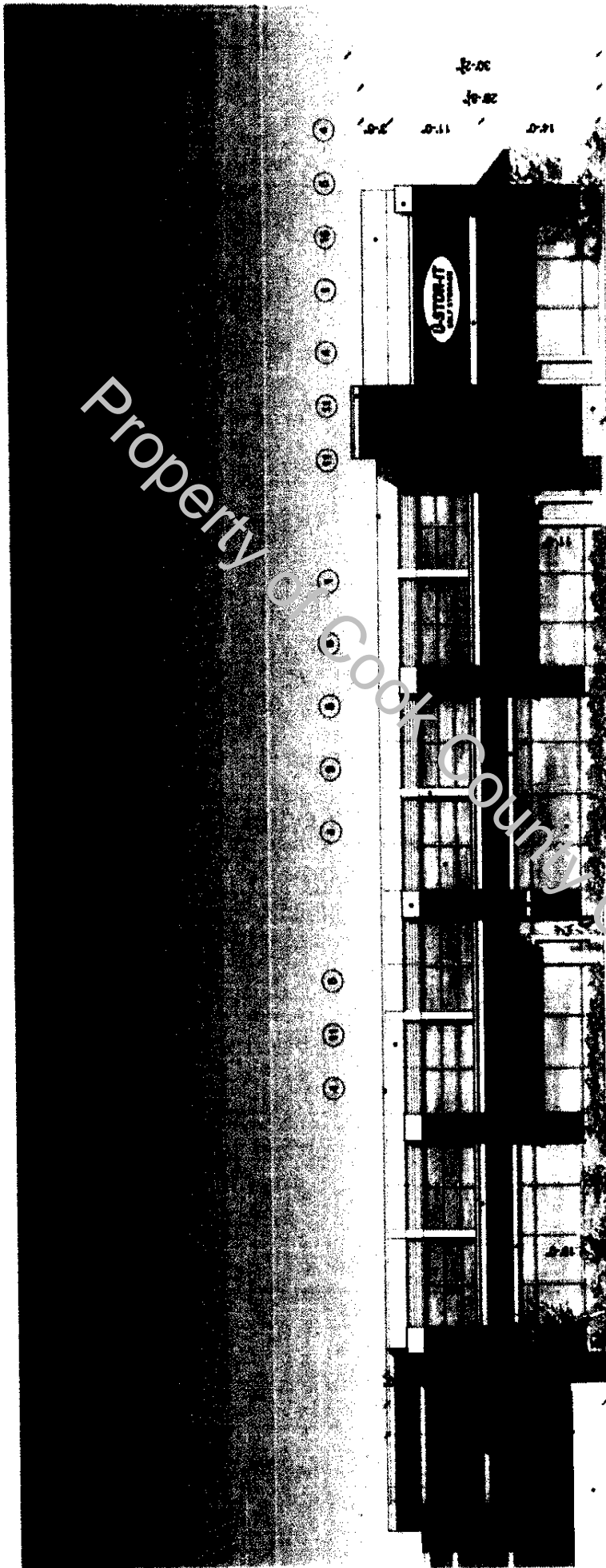
H-2 Southeast Elevation, dated August 5, 2008

H-3 North-South Elevation, dated September 24, 2008

H-4 East-West Elevation, dated September 24, 2008

Property of Cook County Clerk's Office

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**NORTH
ELEVATION**

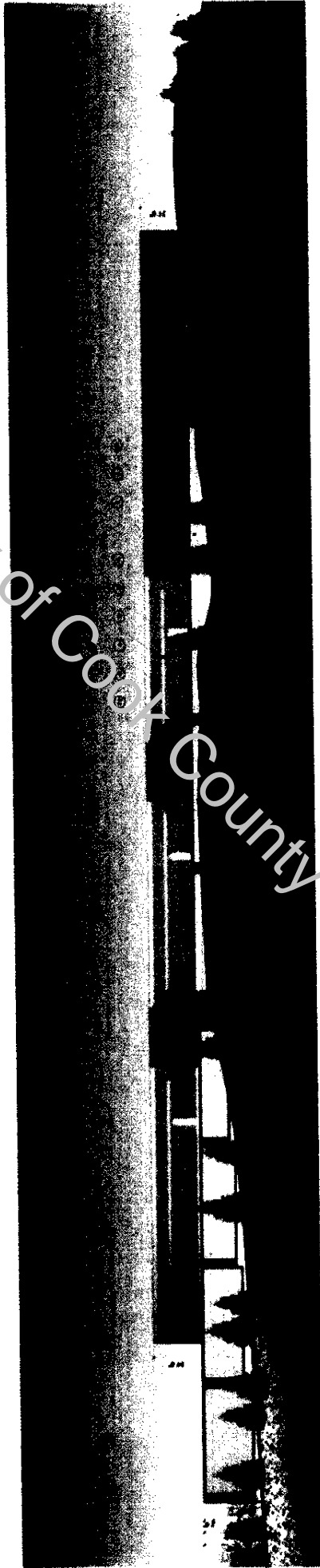


**SULLIVAN
& WILSON**

U-STOR-IT
STREAMWOOD, IL 60107

CHICAGO CAPITAL FUNDS, LLC
DEVELOPER / OWNER
AUGUST 5, 2008

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Property of Cook County Clerk's Office

- MATERIALS LEGEND**
- 1. 1/2" FABRIC GLASS
 - 2. 3/4" STAINLESS STEEL
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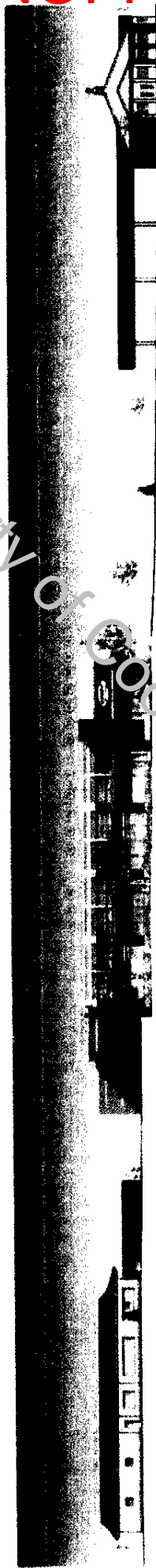
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STREAMWOOD, IL 60107

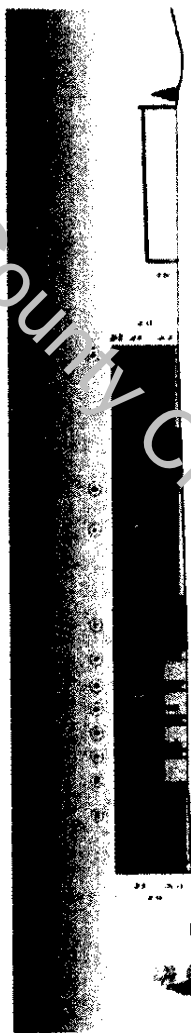
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DEVELOPER / OWNER
ADDRESS: N. 1234

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NORTH
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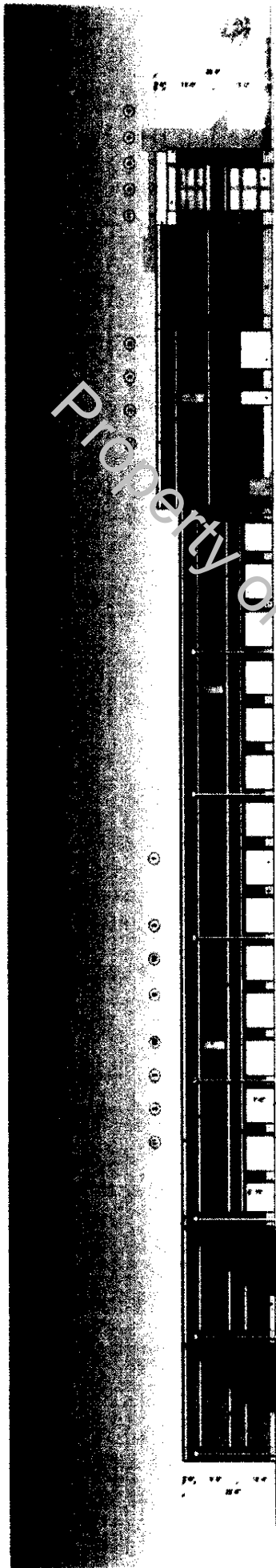
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SULLIVAN
& WILSON
ARCHITECTS

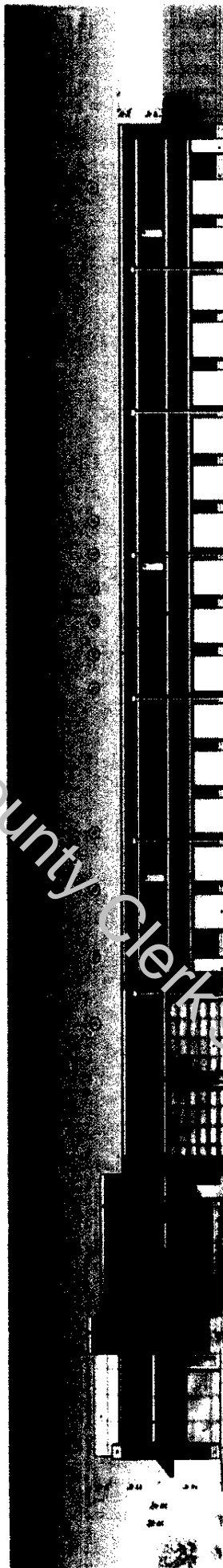
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STREAMWOOD, IL 60107

CHICAGO CAPITAL FUNDS, LLC
DEVELOPER / OWNER
SEPTEMBER 24, 2004

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EAST ELEVATION



WEST ELEVATION

Property of Cook County Clerk's Office

MATERIALS LEGEND

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SULLIVAN & WILSON

U-STOR-IT
STREAMWOOD, IL 60107

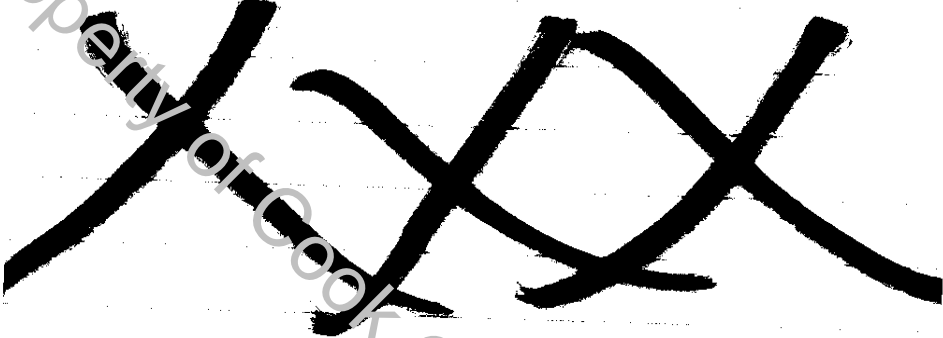
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DEVELOPER / OWNER
SEPTEMBER 24, 2004

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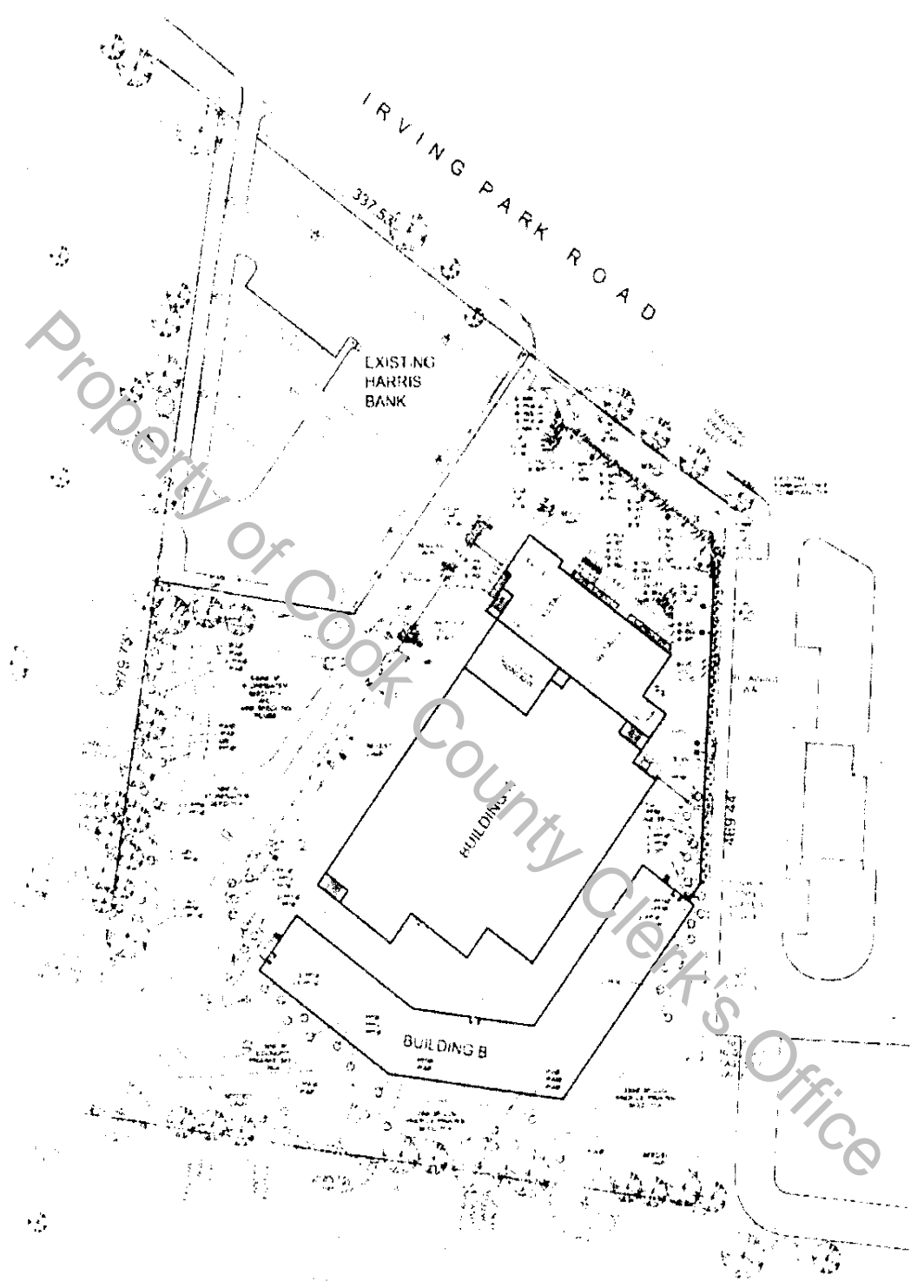
EXHIBIT I-1

Landscape Plan prepared by Jacobs/Ryan Associates, dated August 5, 2008.

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U. STORVICK
 S. QUINN
 ARCHITECTS

LANDSCAPE PLAN




James Ryan Associates
 Architects

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EXHIBIT 1-2

Plant List and Details Plan prepared by Jacobs/Ryan Associates, dated August 5, 2008.

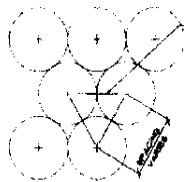
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Plant List

Key	Qty	Botanical Name / Common Name	Size	Root	Remarks
Deciduous Trees					
AF	5	Acer saccharum 'Nimbus' Maple	12' cal	B/B	Specimen
GT	5	Malus 'Virescens' var. 'Nimbus' Malus 'Thornless Honeyloaf'	12' cal	B/B	Specimen
GD	1	Quercus alba 'Stuebeli' Oak	12' cal	B/B	Specimen
GB	6	Quercus alba 'Stuebeli' Oak	12' cal	B/B	Specimen
Ornamental Trees					
CI	5	Crataegus 'Orange' Hawthorn	6' H	B/B	Specimen
ML	1	Malus 'Spectabilis' Malus 'Red Jewel'	6' H	B/B	Specimen
Evergreen Trees					
PA8	1	Pinus strobus 'Nana' Norway Spruce	8' H	B/B	Specimen
PA9	1	Pinus strobus 'Nana' Norway Spruce	8' H	B/B	Specimen
PA10	10	Pinus strobus 'Nana' Norway Spruce	8' H	B/B	Specimen
PA11	6	Pinus strobus 'Nana' Norway Spruce	8' H	B/B	Specimen
PA12	4	Pinus strobus 'Nana' Norway Spruce	8' H	B/B	Specimen
Shrubs					
AR	5	Artemisia 'Nana' Artemisia 'Nana'	4' x 4'	cont.	Specimen
BG	51	Baccharis 'Nana' Baccharis 'Nana'	18' x 18'	cont.	Specimen
FG	6	Fern 'Nana' Fern 'Nana'	18' x 18'	cont.	Specimen
GL	50	Geranium 'Nana' Geranium 'Nana'	18' x 18'	cont.	Specimen
HR	16	Hosta 'Nana' Hosta 'Nana'	18' x 18'	cont.	Specimen
BT	2	Berberis 'Nana' Berberis 'Nana'	18' x 18'	cont.	Specimen
BT	2	Berberis 'Nana' Berberis 'Nana'	18' x 18'	cont.	Specimen
CC	63	Cornus 'Nana' Cornus 'Nana'	18' x 18'	cont.	Specimen
Perennials and Grasses					
ML	52	Malva 'Nana' Malva 'Nana'	18' x 18'	cont.	Specimen
DR	27	Drumstick 'Nana' Drumstick 'Nana'	18' x 18'	cont.	Specimen
Groundcover					
EP	148	Euphorbia 'Nana' Euphorbia 'Nana'	18' x 18'	cont.	Specimen
Perennial Mix					
PMX 1	38	Perennial Mix 1	18' x 18'	cont.	40%
PMX 2	36	Perennial Mix 2	18' x 18'	cont.	60%

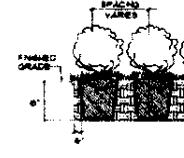


TRIANGULATE SHRUBS IN MASS PLANTINGS UNLESS OTHERWISE DIRECTED

IF DIRECTED BY LANDSCAPE ARCHITECT, PRUNE SHRUBS AFTER PLANTING. SET AN ANNUAL CHARACTER AND GENERAL SHAPE OF SHRUBS BEFORE EXCESSIVE INTERIOR BRANCHES TO REDUCE VOLUME BY 75%

SET CROWN OF SHRUBS 60° AFTER SETTLEMENT OF SOIL. PRUNE BALLS TO TOP OF BALLS 1" ABOVE THE ADJACENT FINISHED GRADE

CONTRACTOR SHALL ASSURE THAT EXCESS SOIL IS NOT PILED UP AROUND SHRUBS. EXCESS SOIL, WITH THE TOP OF ROOT BALL SHALL BE REMOVED



SET SHRUBS PLUMB AND STRAIGHT

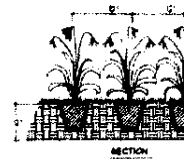
1" LAYER BAREWOOD - HARDWOOD BARK MULCH

PLANTING SOIL MIX

PLACE PLANTING SOIL MIX UNDER ROOT BALLS TO LEVEL PLANTS

SOIL CONTAINING SHRUBS SHALL REMOVE PLASTIC CONTAINERS BEFORE PLANTING BEING CAREFUL TO KEEP ROOT SYSTEM INTACT

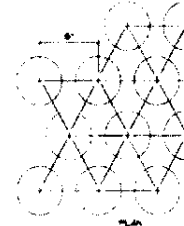
1 SHRUB PLANTING DETAIL SCALE: NTS



1" LAYER BAREWOOD - HARDWOOD BARK MULCH

BASE PLANTING BED ABOVE FINISHED GRADE

PLANTING SOIL MIX CONTRACTOR THROUGH AREA OF BED



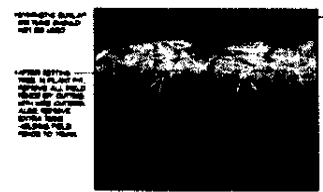
TRIANGULATE PERENNIALS IN MASS PLANTINGS UNLESS OTHERWISE DIRECTED. USE PLANT LIST FOR CORRECT SPACING

REMOVE PLASTIC PLANTING CONTAINER BEFORE PLANTING BEING CAREFUL TO KEEP THE ROOT SYSTEM INTACT

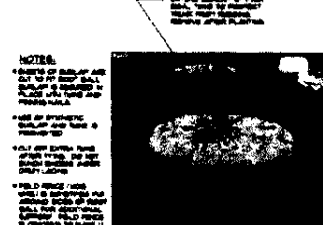
2 SHRUB PLANTING DETAIL SCALE: NTS

Summary of Seed Mix: 17500 Square Feet = 4000 Pounds
 Groundcover Plant Seed Mix = 10000 Pounds from Low Profile Plant a Seed Mix = 8200 Pounds from

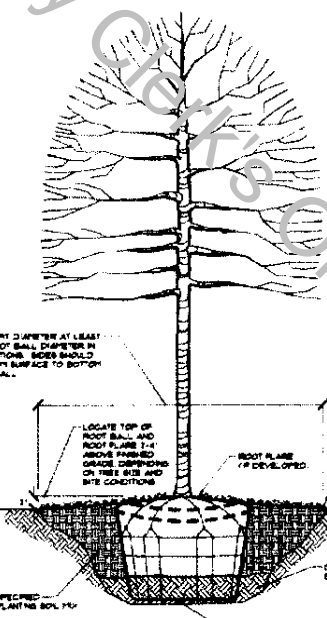
- PLANTING NOTES:
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS. IF A DISCREPANCY OCCURS THE COUNT OF ACTUAL PLANT BYTES FROM THE PLANTING PLAN SHALL PREVAIL.
 - CONTRACTOR SHALL AT 1747 500-3488 OR 800-348-8000 FOR SEED MIX PURCHASE AND INSTALLATION.
 - EROSION CONTROL SLOTTED BASKET SHALL BE USED UPON THE DETENTION POND FROM THE POND BOTTOM TO 1' ABOVE THE HIGH WATER LINE. CONTACT POND FOR INSTALLATION ON INSTRUCTIONS.
 - SEEDING MIXES FOR BOTTOM OF DETENTION POND SHALL BE A VARIETY OF FORBE SPECIES FOR A LIST OF FORBE SPECIES SEE THE STORMWATER SEED MIX BY PLAN.



3 HAND DUG PACKAGE DRUM LACING AND FIELD FENCE SCALE: NTS



4 TYPICAL DRUM LACING ILLUSTRATION SCALE: NTS



- NOTES:
- USE OF "LOW PROFILE" BASKET PACKAGE SHALL ALLOW BASKET BULKUP AND TIE TO REMAIN INTACT THROUGH THE 1ST YEAR.
 - INSTALLING CONTRACTOR SHALL REMOVE ALL BULKUP AND TIE REMAINING OVER TOP OF ROOT BALL WITHIN ONE YEAR OF PLANTING.
 - USE OF SYNTHETIC BULKUP AND TIE IS PROHIBITED.
 - IF ROOT BALL HAS BEEN SEEN TO BE DAMAGED, REMOVE BULKUP TO THE OUTSIDE OF BASKET AND RE-ROOT BALL IN THE PLANTING PIT.
 - DO NOT "PACKAGE" BY WIRE SNARE AS IT CAN CAUSE WIRE TO ENDO AND/OR SPLITTER OF ROOT BALL.
 - IF THE BAG IS DAMAGED, PLANTING PIT ARE SEPARATE DRIBBLE, USE A HAND TOOL TO BREAK UP THE SURFACE BEFORE PLANTING.

5 SHADE TREE PLANTING WITH LOW PROFILE PACKAGE SCALE: NTS

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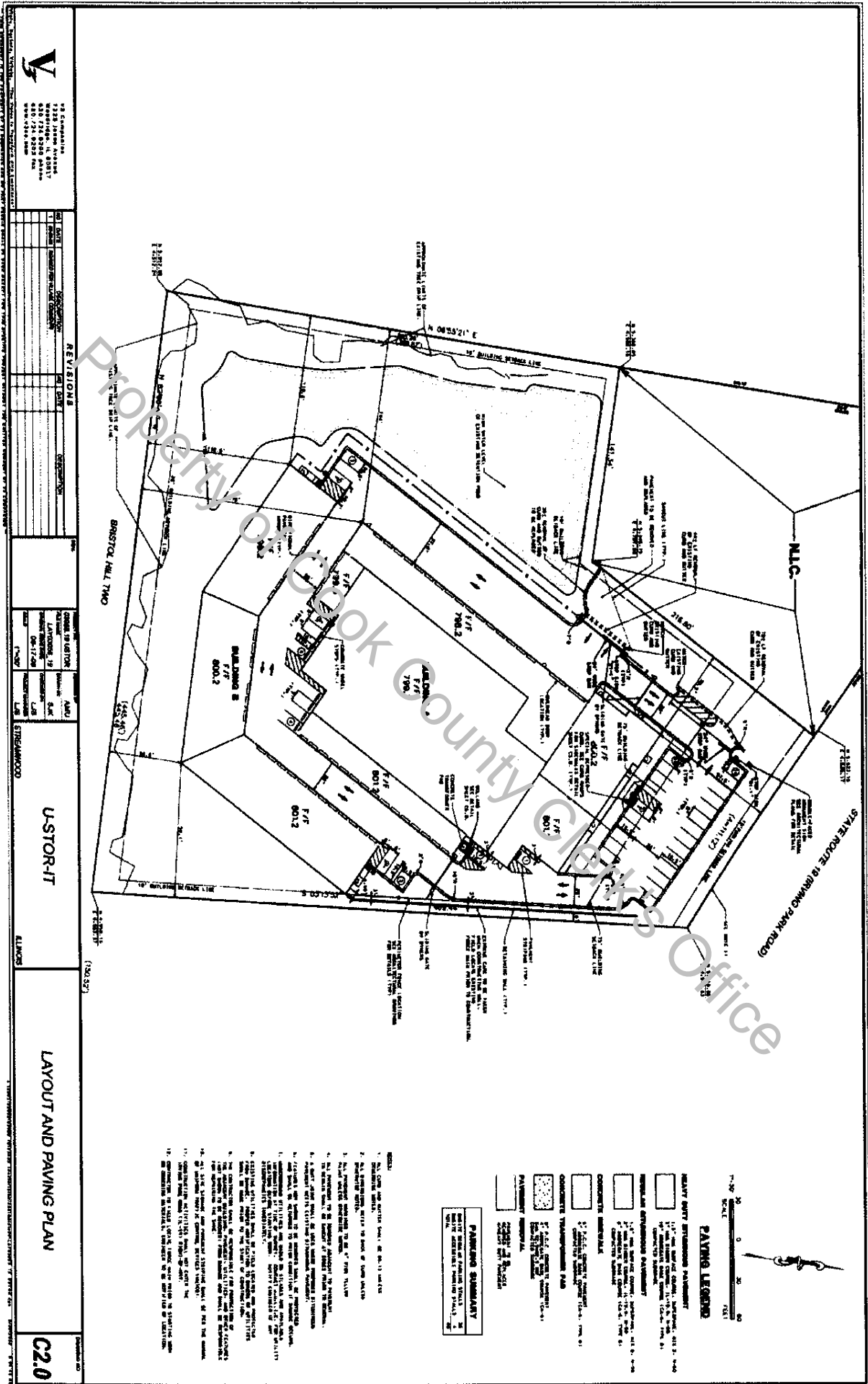
EXHIBIT J

Final Engineering Plans prepared by V3 Consultants dated September 26, 2008.

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V
 28 Commercial
 1228 James Avenue
 Madison, WI 53703
 608.271.8222 Fax
 608.271.8222 Cell
 608.271.8222 Home

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1	11/20/17	ISSUED FOR PERMIT
2	11/20/17

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11/20/17	ISSUED FOR PERMIT
2	11/20/17

U-STOR-IT

LAYOUT AND PAVING PLAN

C2.0

PAVING LEGEND

1" = 20'

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ASPHALT DRIVEWAY PAVEMENT
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CONCRETE DRIVEWAY PAVEMENT
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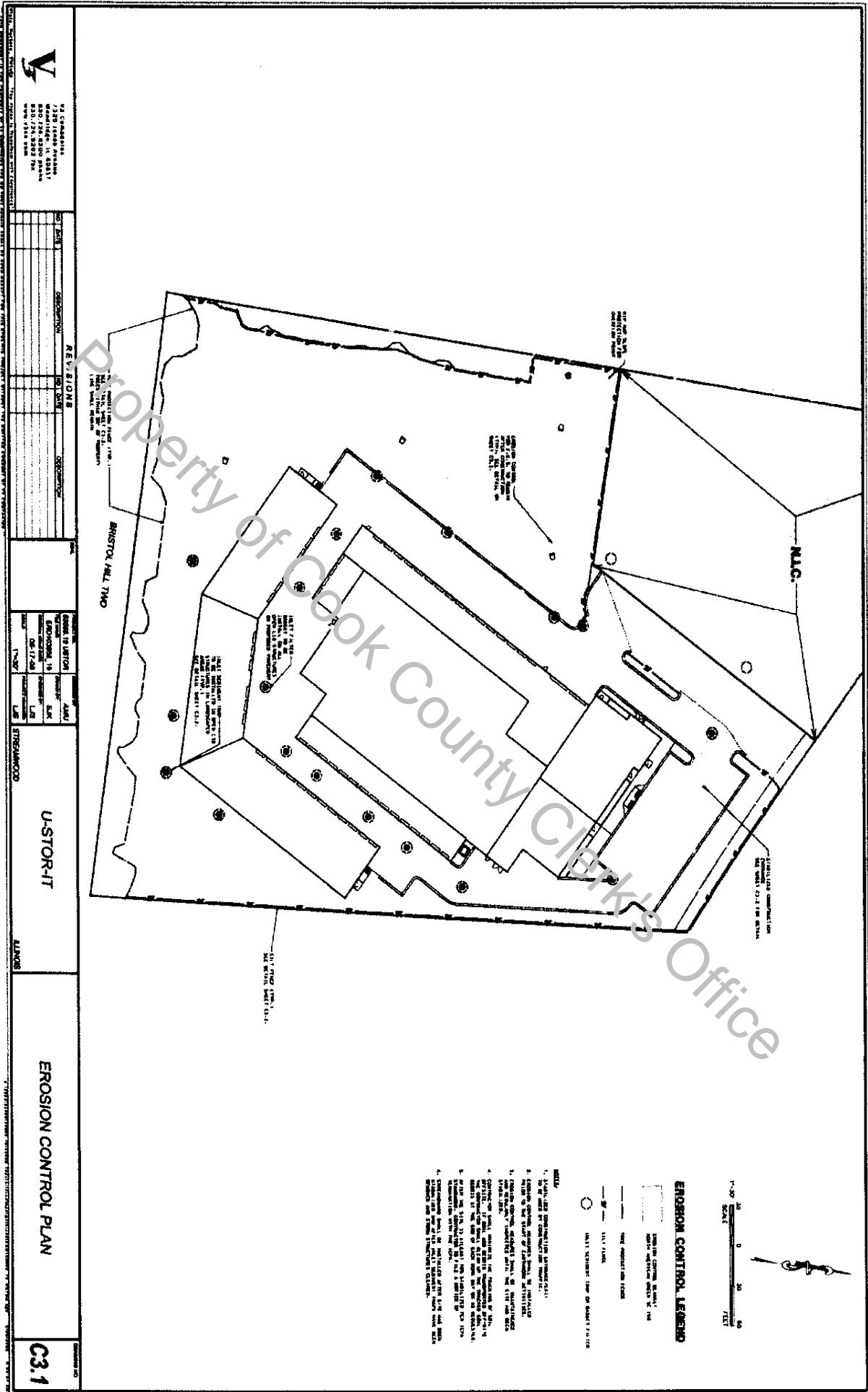
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PAVING SUMMARY

NO.	DESCRIPTION	AREA (SQ. FT.)
1	ASPHALT DRIVEWAY PAVEMENT	...
2	CONCRETE DRIVEWAY PAVEMENT	...
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49	CONCRETE DRIVEWAY PAVEMENT	...
50	CONCRETE DRIVEWAY PAVEMENT	...

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GENERAL NOTES FOR EROSION CONTROL PLAN SHEETS

1. The contractor shall provide for the control, collection, and disposal of storm water runoff from the project site. The contractor shall be responsible for the design, construction, and maintenance of all erosion control measures. The contractor shall be responsible for the design, construction, and maintenance of all erosion control measures. The contractor shall be responsible for the design, construction, and maintenance of all erosion control measures.


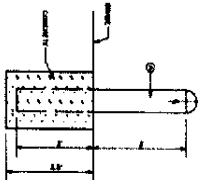
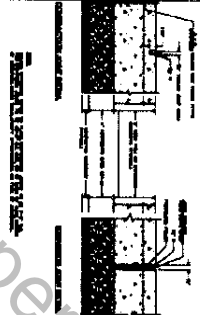
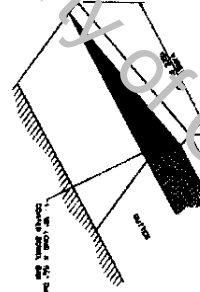
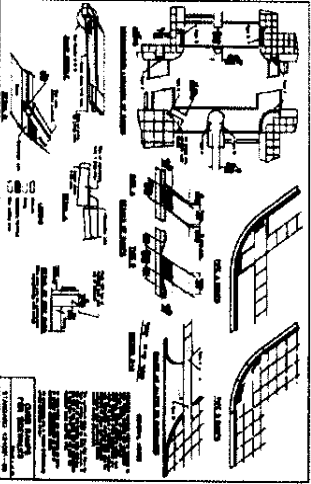
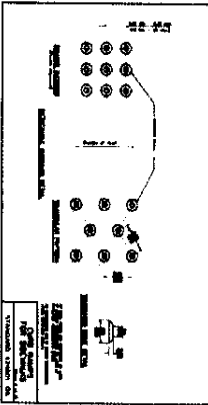
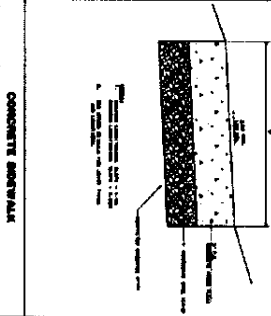
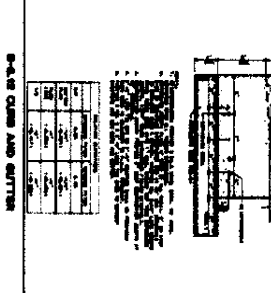
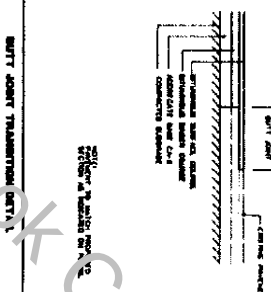
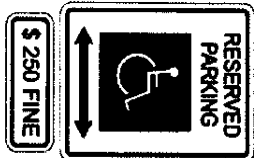
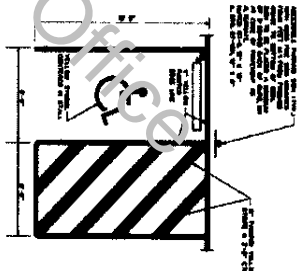
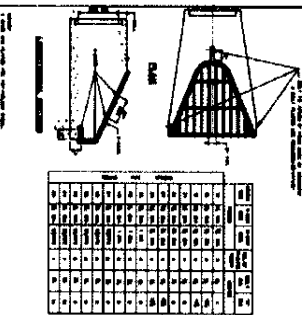
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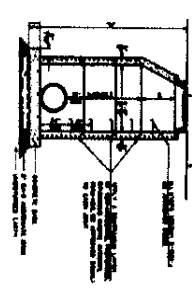
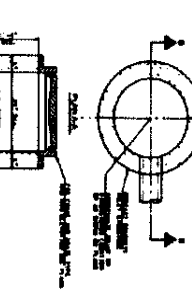
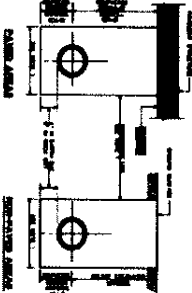
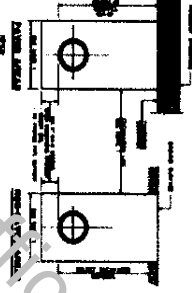
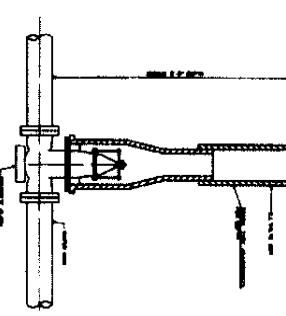
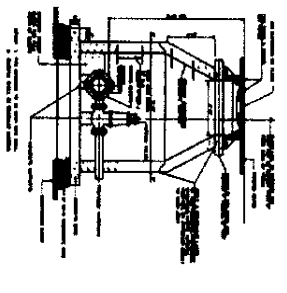
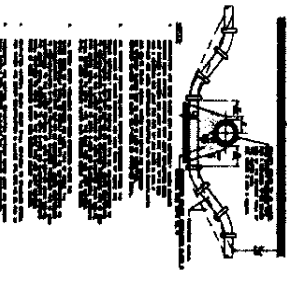
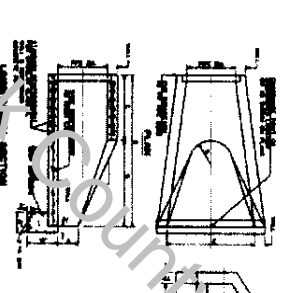
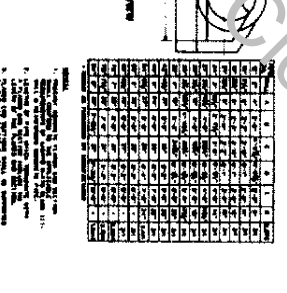
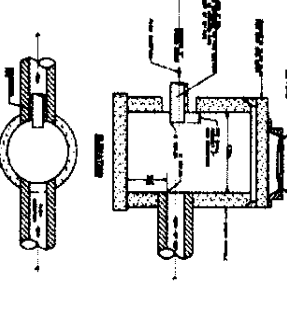
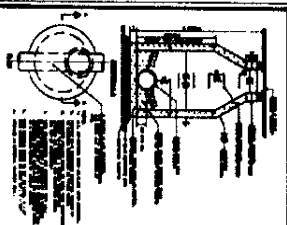
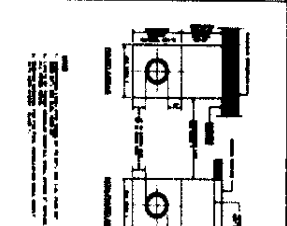
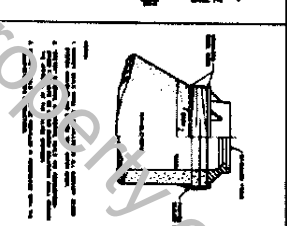
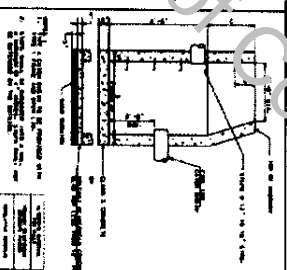
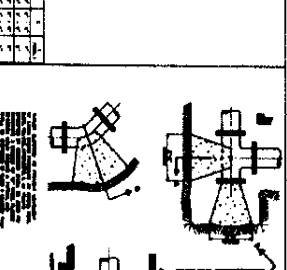
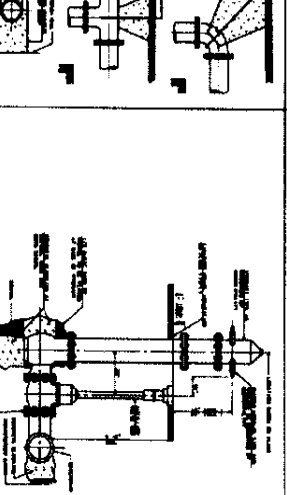
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	12100 S. 121st Avenue Suite 100 Overland Park, KS 66213 Phone: (913) 241-2222 Fax: (913) 241-2222		PROJECT NO.: SHEET NO.:		
	PROJECT NAME: U-STOR-JT		DRAWN BY: CHECKED BY:		
REVISIONS		DATE		DESCRIPTION	
1.		12/15/00		INITIAL DESIGN	
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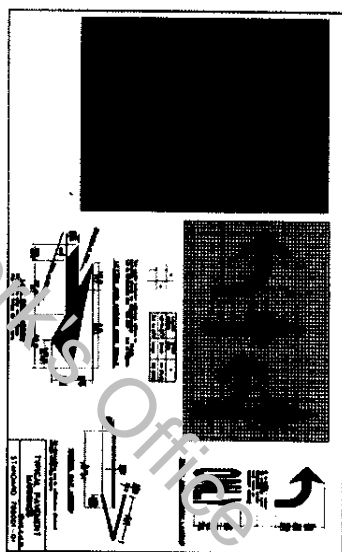
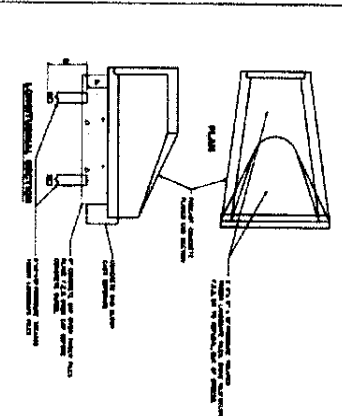
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 <p>7210 W. 10th Ave. Denver, CO 80202 Tel: 303.733.8800 www.vcc.com</p>	<p>ROLLING</p>  <p>③ CONCRETE SHALL BE ROLLED TO THE SURFACE OF THE FORMWORK TO COMPACT THE CONCRETE TO THE SURFACE OF THE FORMWORK.</p>	<p>CONCRETE WALKWAY REINFORCEMENT</p>  <p>REINFORCEMENT SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>	<p>CRACK TREATMENT DETAIL</p>  <p>NOTE: CRACKS UP TO 1/8" WIDE AND 1/4" DEEP SHALL BE REPAIRED WITH EPOXY RESIN.</p>	<p>CRACK REPAIR REINFORCEMENT</p>  <p>CRACK REPAIR REINFORCEMENT SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>	<p>CRACK REPAIR REINFORCEMENT</p>  <p>CRACK REPAIR REINFORCEMENT SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>
<p>CONCRETE WALKWAY</p>  <p>CONCRETE WALKWAY SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>	<p>CRACK AND CRACK REPAIR</p>  <p>CRACK AND CRACK REPAIR SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>	<p>CRACK AND CRACK REPAIR</p>  <p>CRACK AND CRACK REPAIR SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>	<p>ACCESSIBLE PARKING SIGN</p>  <p>RESERVED PARKING \$ 250 FINE</p>	<p>ACCESSIBLE PARKING SIGN DETAIL</p>  <p>ACCESSIBLE PARKING SIGN SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>	<p>ACCESSIBLE PARKING SIGN DETAIL</p>  <p>ACCESSIBLE PARKING SIGN SHALL BE AS SHOWN IN THE ATTACHED DETAIL.</p>

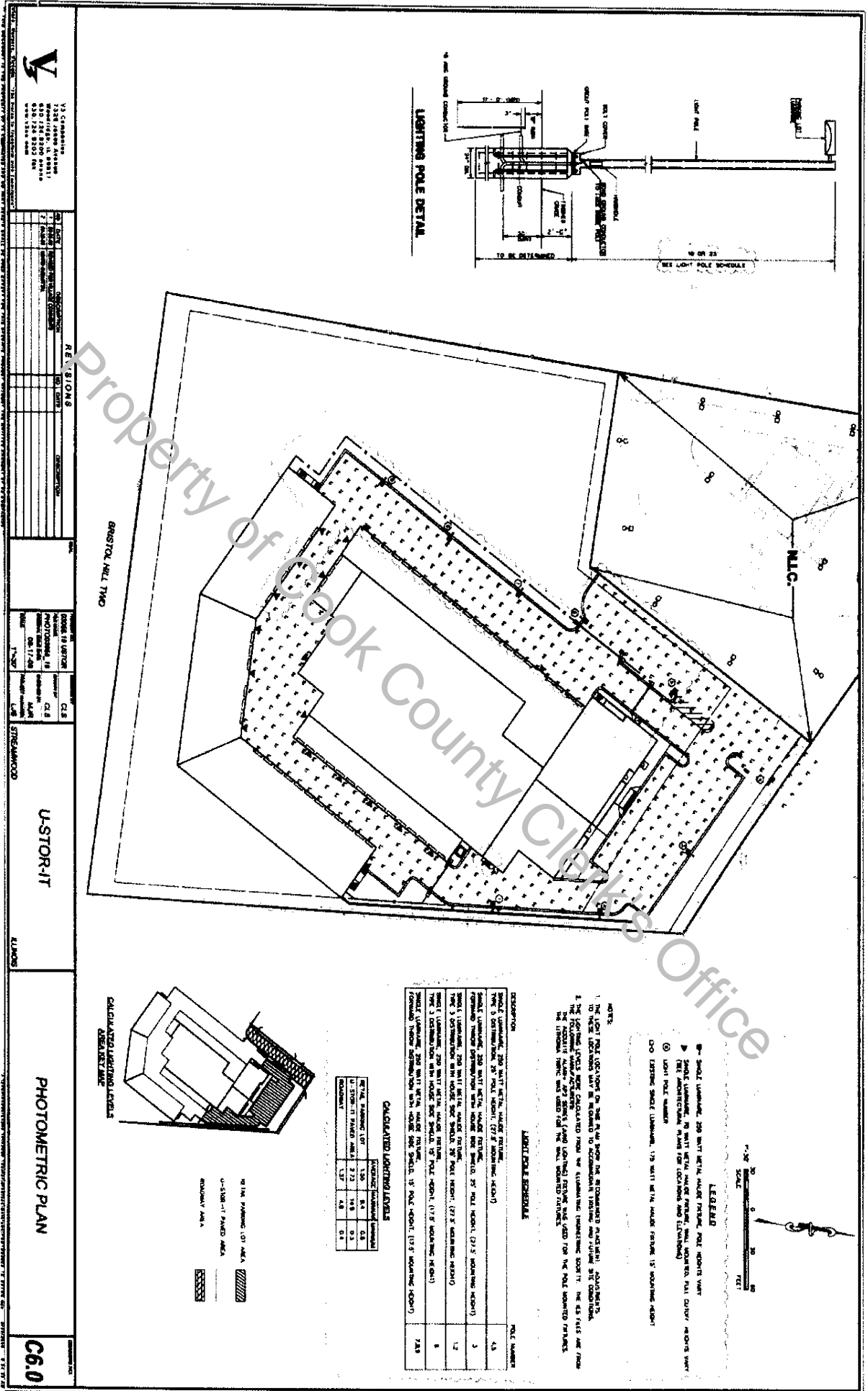
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<p>4 AND 6 QUANTITIES STOWING MANHOLE - TYPE A</p>  <p>1. SEE NOTES FOR DIMENSIONS AND MATERIALS. 2. SEE NOTES FOR INSTALLATION AND CONNECTIONS. 3. SEE NOTES FOR FINISHES AND PAINTS. 4. SEE NOTES FOR SPECIAL REQUIREMENTS. 5. SEE NOTES FOR TOLERANCES AND ALLOWANCES. 6. SEE NOTES FOR TESTING AND INSPECTION. 7. SEE NOTES FOR RECORDS AND DOCUMENTATION. 8. SEE NOTES FOR SAFETY AND HEALTH. 9. SEE NOTES FOR ENVIRONMENTAL PROTECTION. 10. SEE NOTES FOR QUALITY CONTROL.</p>	<p>7 QUANTITIES MANHOLE - TYPE A</p>  <p>1. SEE NOTES FOR DIMENSIONS AND MATERIALS. 2. SEE NOTES FOR INSTALLATION AND CONNECTIONS. 3. SEE NOTES FOR FINISHES AND PAINTS. 4. SEE NOTES FOR SPECIAL REQUIREMENTS. 5. SEE NOTES FOR TOLERANCES AND ALLOWANCES. 6. SEE NOTES FOR TESTING AND INSPECTION. 7. SEE NOTES FOR RECORDS AND DOCUMENTATION. 8. SEE NOTES FOR SAFETY AND HEALTH. 9. SEE NOTES FOR ENVIRONMENTAL PROTECTION. 10. SEE NOTES FOR QUALITY CONTROL.</p>	<p>8 QUANTITIES MANHOLE - TYPE A</p>  <p>1. SEE NOTES FOR DIMENSIONS AND MATERIALS. 2. SEE NOTES FOR INSTALLATION AND CONNECTIONS. 3. SEE NOTES FOR FINISHES AND PAINTS. 4. SEE NOTES FOR SPECIAL REQUIREMENTS. 5. SEE NOTES FOR TOLERANCES AND ALLOWANCES. 6. SEE NOTES FOR TESTING AND INSPECTION. 7. SEE NOTES FOR RECORDS AND DOCUMENTATION. 8. SEE NOTES FOR SAFETY AND HEALTH. 9. SEE NOTES FOR ENVIRONMENTAL PROTECTION. 10. SEE NOTES FOR QUALITY CONTROL.</p>	<p>9 QUANTITIES MANHOLE - TYPE A</p>  <p>1. SEE NOTES FOR DIMENSIONS AND MATERIALS. 2. SEE NOTES FOR INSTALLATION AND CONNECTIONS. 3. SEE NOTES FOR FINISHES AND PAINTS. 4. SEE NOTES FOR SPECIAL REQUIREMENTS. 5. SEE NOTES FOR TOLERANCES AND ALLOWANCES. 6. SEE NOTES FOR TESTING AND INSPECTION. 7. SEE NOTES FOR RECORDS AND DOCUMENTATION. 8. SEE NOTES FOR SAFETY AND HEALTH. 9. SEE NOTES FOR ENVIRONMENTAL PROTECTION. 10. SEE NOTES FOR QUALITY CONTROL.</p>	<p>VALVE BOX INSTALLATION</p>  <p>1. SEE NOTES FOR DIMENSIONS AND MATERIALS. 2. SEE NOTES FOR INSTALLATION AND CONNECTIONS. 3. SEE NOTES FOR FINISHES AND PAINTS. 4. SEE NOTES FOR SPECIAL REQUIREMENTS. 5. SEE NOTES FOR TOLERANCES AND ALLOWANCES. 6. SEE NOTES FOR TESTING AND INSPECTION. 7. SEE NOTES FOR RECORDS AND DOCUMENTATION. 8. SEE NOTES FOR SAFETY AND HEALTH. 9. SEE NOTES FOR ENVIRONMENTAL PROTECTION. 10. SEE NOTES FOR QUALITY CONTROL.</p>																			
<p>TYPICAL PRESSURE CONNECTION</p> 	<p>WATER SEAM CROSSING DETAIL</p> 	<p>PRECAST REINFORCED CONCRETE FLARED END SECTION</p> 	<p>THESE MANHOLES ARE NOT TO BE USED FOR THE INSTALLATION OF VALVES OR OTHER DEVICES.</p> 	<p>MANHOLE WITH RESTRICTION PIPE (ST. 4-0)</p> 																			
<p>SMALL MANHOLE - TYPE A</p> 	<p>TYPICAL INTERNAL JOINT</p> 	<p>EXTERNAL GASKET SEAL</p> 	<p>CATCH BASIN DETAIL</p> 	<p>THRUST BLOCK DETAIL</p> 	<p>PIPE HYDRANT ASSEMBLY</p> 																		
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION																<p>U-STOR-IT</p> <p>MANHOLES</p>		<p>CONSTRUCTION DETAILS</p>		<p>CS.1</p>
NO.	DATE	DESCRIPTION																					

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 <p>V.I. Corporation 13281 Avenue Avenue Merrillville, IL 60459 848-224-8283 Fax 848-224-8283</p>		<p>NO. DATE</p> <p>1 11/11/11</p>		<p>REV. NO. DATE</p>		<p>DESCRIPTION</p>		<p>REVISIONS</p>		<p>DATE</p>		<p>BY</p>		<p>APPROVED</p>		<p>LAB SITE/WORKROOM</p>		<p>U-STOR-LIT</p>		<p>ALUMINUM</p>		<p>CONSTRUCTION DETAILS</p>		<p>C5.2</p>	
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 7328 Adams Avenue
 Memphis, TN 38111
 901.724.2202 FAX
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U-STOR-IT
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 C6.0

DATE: 10/10/07 - PHOTOMETRIC PLAN