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**Prepared by:**  
Peter and Kate Gianopulos  
5418 N Lakewood Avenue  
Chicago, IL 60640-1303

**Doc#:** 0928131065 **Fee:** \$82.00  
Eugene "Gene" Moore RHSP Fee: \$10.00  
Cook County Recorder of Deeds  
Date: 10/08/2009 11:59 AM Pg: 1 of 24

**After Recording,  
forward to:**  
Peter and Kate Gianopulos  
5418 N Lakewood Avenue  
Chicago, IL 60640-1303

## NOTICE OF RECORDING OF RELEASE OF LIEN

THIS FILING OF RELEASE OF LIEN was entered into by Zartler Heating and Air Conditioning, Inc. and Peter and Kate Gianopulos on or about September 24, 2009 in the amount of \$6500.00 for the property commonly known as 5418 North Lakewood Avenue, Chicago, IL 60640 with the following legal description:

LOT 17 AND THE SOUTH HALF OF LOT IN BLOCK 6 OF  
COCHRAN'S THIRD ADDITION TO EDGEWATER IN THE EAST  
HALF OF THE NORTHWEST QUARTER OF SECTION 8,  
TOWNSHIP 40 NORTH RANGE 14, EAST OF THE THIRD  
PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Permanent Real Estate Index Number: 14-08-111-028-0000 (affects land & other property)

Property Address: 5418 North Lakewood Avenue, Chicago, IL 60640-1303

Property of Cook County Clerk's Office

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## AGREEMENT between Dabbler & Associates and Peter & Kate Gianopulos

THIS AGREEMENT entered into this 21<sup>st</sup> day of September, by and between DABBLER & ASSOCIATES, hereinafter referred to as "Contractor" and Peter and Kate Gianopulos, hereinafter referred to as "Owner," of 5418 North Lakewood, Chicago, Illinois, herein referred to as "Premises."

In consideration of the mutual covenant and agreements, the parties agree to the following:

### 1. Description of Work and Contract Price

1.1 Contractor agrees to furnish all labor, materials, supplies, equipment, services, machinery, tools, and other facilities required for the prompt and efficient completion of the following work: to construct an improvements and additions at Premises ("Work") according to the agreement dated September 21, 2009 ("Agreement") attached hereto and made a part hereof as Exhibit "A." All work done hereunder shall be in a proper and workman like manner and in accordance with the plans and specifications for the project ("Specs") attached hereto as Exhibit B.

1.2 Unless specifically outlined in Exhibit "A," the Owner will be responsible for all permits, licenses, surveys, and approvals to allow the work to commence and proceed.

1.3 The Work will be done in strict accordance with applicable codes and ordinances and to the full satisfaction and acceptance of the Owner for the sum of \$16,995.95 Dollars and to be paid in accordance with the Project/Payment Schedule included in Exhibit "A."

### 2. Contractor's Responsibilities

2.1 The Contractor will supervise and direct the Work using the most professional skill and attention, and be solely responsible for all construction methods, techniques, sequences, and procedures for completing all Work in accordance with the Specs. The Contractor will coordinate Trade Contractors and Suppliers to be in harmony with one another, and conform to the Project/Payment Schedule.

2.2 The Contractor will provide and pay for all labor, materials, equipment, tools, equipment, machinery, transportation, facilities, and services necessary for the proper execution and completion of the Work.

2.3 All materials and products furnished for the Work will be new and free from faults, defects, and conform to the Drawings and Specifications, unless otherwise specified by Owner. In the event there are any discrepancies from the Drawings and Specifications, the Contractor will arrange for the correction of such discrepancies and will notify the Owner in writing prior to completing the Work to clarify any such discrepancies. All Work not so conforming to these standards will be considered defective and a breach of this Agreement.

2.4 The Contractor will correct any defects in workmanship performed, materials supplied, or in the Work which fails to comply with the Drawings and Specifications, whether observed on or after completion and whether or not fabricated, installed, or completed within the time allotted to the Owner from date that work commences.

### 3. Project Schedule

3.1 The Contractor will schedule the project immediately upon receipt of a signed Agreement from the Owner and anticipates completion within 30 to 45 days of commencement. The Contractor will not be held responsible for delays caused by the owner.

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3.3 The Contractor will be excused from performance of Work due to riots, strikes, natural disasters, accidents, and any Act of God. In the event that any such event prevents the Contractor from performing Work, the Owner will not have the right to terminate the Contract.

## 4. Payment Schedule

4.1 The Contract price will be paid to the Contractor in accordance with the parties' agreed upon payment schedule outlined in Exhibit "A".

4.2 Following a satisfactory final inspection by the Owner's architect, the Contractor agrees to indemnify and hold harmless the Owner against any and all mechanics' or material men's liens attaching to the property. If any liens attaching to the property have been recorded, then the Owner may use any or the entire amount of the final payment to remove such liens. Nothing in this subparagraph will limit the Contractor's liability in Paragraph 10 of this Contract.

4.3 The Contractor agrees to complete Work in a lien-free condition for the Owner. Any payment made prior to total completion of the Work will not be construed as evidence of acceptance of any part of the Work nor a waiver of any claim by the Owner arising out of faulty workmanship or materials or for failure of the Contractor to comply strictly with the Drawings and Specifications.

4.4 Final payment by the Owner will not constitute a waiver for any claims by the Owner such as claims for unsettled liens, claims for faulty or defective work, claims concerning failure of the Work to comply with the requirements of the Drawings and Specifications, or any guarantee or warranty required by the Work.

## 5. Change Orders

5.1 The Owner may order changes, modifications, additions, and/or deletions to the Work. Any such changes will not invalidate the Contract. Any adjustments to the time for the Project completion or to the Project cost must be made in writing and signed by both the Contractor and Owner.

5.2 Changes to the Work will only be made by written order signed by the Owner and Contractor.

## 6. Cessation of Work/Termination of Work

6.1 If the Contractor fails to correct any work that is defective and/or fails to comply with the Specs or persistently fails to supply materials, labor, or equipment sufficient to perform Work, the Owner may, after five (5) days written notice, order the Contractor to stop Work until the cause for such order has been eliminated.

6.2 If the Owner fails to make payment under the terms of this Contract, through no fault of the Contractor, the Contractor may, after ten (10) days written notice, terminate the Contract. The Owner will pay for work completed and any proven loss with respect to materials, labor, or equipment, and reasonable profit applicable to the Work.

6.2.2 If the Contractor fails to carry out the Work in accordance to the Agreement, Project/Payment Schedule, Conditions Statement, and/or Specs, the Owner may, after ten (10) days written notice, terminate the Contract, and finish the Work by whatever method the Owner determines. If the cost of completing the Work exceeds the balance due under the terms of the Contract, the difference is to be paid to the Owner by the Contractor.

## 7. Insurance

7.1 The Contractor, at its sole expense, shall fully insure itself and Owner, against any and all liability which it may have applicable Worker's Compensation law, and it shall require that all subcontractors are similarly insured.

7.2 The Contractor shall purchase and maintain such insurance as will protect it and Owner from claims set forth below which may arise out of or result from Contractor's operations under the Contract Documents, whether such operations be by Contractor, by any subcontractor, or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable.

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7.2.1 Claims under workers' compensation, disability benefits, and other similar employee benefit acts;

7.2.2 Claims for damages arising out of bodily injury, occupational sickness or disease, or death of its employees;

7.2.3 Claims for damages arising out of bodily injury, occupational sickness or disease, or death of any other person other than its employees;

7.2.4 Claims for damages insured by usual personal injury liability coverage which are sustained by (i) any person as a result of an offense directly or indirectly related to the employment of such person by the Contractor, or (ii) any other person;

7.2.5 Claims for damages arising out of damage to or destruction of tangible property, including loss of use resulting there from, and including, but not limited to the Contractor and its subcontractor's equipment and tools at the project; and

7.2.6 Claims for damages because of bodily injury or property damage arising out of the ownership, maintenance, or use of motor vehicles;

7.2.7 Claims arising from errors and omissions on the part of Contractor in connection with the performance of the Work, including, but not limited to any negligence on the part of Contractor in connection with the performance of the Work.

7.3 The insurance required by clauses (9.2.3), (9.2.4), and (9.2.6) of the Subparagraph shall be written for a combined single limit of not less than One Million and No/100 Dollars (\$1,000,000) per occurrence with an aggregate limit of Two Million and No/100 Dollars (\$2,000,000). The insurance required by clauses (9.2.1) and (9.2.2) of the Subparagraph shall be written for limits required by law. Contractor's insurance shall include contractual insurance as applicable to Contractor's obligations to indemnify Owner as required by this Agreement.

7.4 The Contractor, at its sole expense, shall purchase and maintain casualty insurance in such amount it deems appropriate on its equipment and personal property located from time to time in, on or about the Property, but not the Work itself. The insurance shall insure against the perils of fire, and extended coverage shall include "special perils" insurance for physical loss or damage, including, without duplication of coverage, theft, vandalism, and malicious mischief.

## 8. Indemnification

8.1 The Contractor will indemnify and hold harmless the Owner and the Owner's agents and employees from all claims, liens, damages, losses and expenses, including lawyer's fees, relating to the performance of the Work. 8.2 In all claims against the Owner, any employee of the Contractor, any Trade Contractor or Supplier, or anyone employed by them, or anyone, for whose acts any of them may be liable, the indemnification obligation will not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for the Contractor, any Trade Contractor or Supplier under the Worker's Compensation Act, Disability Benefits Act, or any other employment benefit act.

8.3 All damage or loss to any property in whole or in part by the Contractor, any Trade Contractor or Supplier, or anyone employed by any of them, or by anyone, for whose acts any of them may be liable, will be remedied by the Contractor.

## 9. Attorneys Fees

9.1 Any controversy or claim arising out of or relating to the Work, the Agreement, or the physical conditions of the Owner's property, including claims of breach of contract, fraud, misrepresentation, warranty and/or negligence shall first be attempted to be settled by negotiation between the parties; provided, however, that if either party concludes after attempting to resolve a dispute through negotiation that further negotiation is not likely to lead to a successful resolution of the dispute, that party may require that the dispute be resolved through any process of law.

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9.2 Contractor agrees to pay any costs and attorney's fees incurred by Owner as a result of any breach of this Agreement, including, but not limited to any and all attorney's fees incurred by Owner in connection with any further collection efforts.

## 10. Prevention of Liens

10.1 The Contractor agrees to pay, when due, all claims for labor and/or materials furnished for Work, and to prevent the filing of any liens by mechanics or material men, or attachments, garnishments or suits involving the title of the property on which the Work is performed. The Contractor agrees, within fifteen (15) days after written demand is mailed to the Contractor, at the address stated in this Contract by United States mail, to cause the effect of any such suit or lien to be removed from the premises. In the event the Contractor has a dispute with a Trade Contractor, Supplier, or person supplying labor or materials to the Project, the Contractor will bond the Owner against any loss from any such claim of liens and then have the right to prosecute the claim of lien to a completion at the Contractor's sole cost and expense.

## 11. Waivers of Lien

11.1 With every payment request, the Contractor is to submit a waiver of lien for the full amount requested on the sworn statement.

11.2 All applications for payment shall be accompanied by the Contractor's partial waiver of lien and the Subcontractors' and Material Suppliers' waivers of lien who are included in the current payment request to the extent of that payment (i.e. the Contractor, Subcontractor, and Material Suppliers must submit partial lien waivers on a current basis or payments will be withheld until waivers are submitted). Payout requests are considered incomplete unless accompanied by all requested waivers.

## 12. Assignment and Subcontracting

12.1 The Contractor warrants that it has made available a true and complete list of all subcontractors and suppliers engaged by the Contractor in performance of the Work, including a description of the work to be performed and/or materials to be supplied under, and the amount of, each such contract. Upon the request of the Owner, from time to time, the Contractor will update such list. Contractor warrants that all such updates will be true and complete.

## 13. Warranties

13.1 The Contractor expressly warrants all Work performed in connection with this Agreement to the Owner, and the Owner's successors in interest, including, without limitation, against any loss or damage arising from any defect in workmanship performed under this Contract for a period of one (1) year from the date the Owner's architect issues his field report regarding satisfactory final inspection of the property.

13.2 The Contractor expressly warrants all Work performed in connection with this Agreement to the Owner, and the Owner's successors in interest, against any loss or damage arising from any defect in materials furnished under this Contract for a period of one (1) year from the date the Owner's architect issues his field report regarding satisfactory final inspection of the property.

13.3 The Contractor shall correct defective work within a reasonable time after he receives written notice from Owner during the applicable Warranty periods. These Warranties do not cover items which have been modified or repaired by Owner or which are installed or constructed pursuant to a separate agreement or authorization between the Owner and Contractor.

13.4 This Warranty (of workmanship and materials) may not be assigned or transferred by Owner and shall be enforceable only by Owner and not by Owner's grantees or other successors' interest. All warranties issued by material suppliers shall be assigned to Owner.

## 14. Scope of Agreement

14.1 Exhibits "A," and "B" are incorporated herein and made a part as if specifically set forth herein. The invalidity, illegality, or unenforceability of any agreement, restriction, condition, and reservation of

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any provision of this Agreement, in its entirety or as applied to particular circumstances, shall not impair or affect in any manner the validity, legality, enforceability or effect thereof as otherwise applied or of the remainder of this Agreement.

14.3 All representatives and covenants made by each party shall survive the Final Payout for the benefit of the other party.

## 15. General Provisions

### A. **Independent Representation.**

In connection with the negotiation, drafting and execution of this Agreement, the parties have been represented by their own independent legal counsel.

**B. Collaborative Drafting.** This Agreement represents the collaborative drafting of the parties through their respective attorneys. Accordingly, neither this Agreement nor any provision of this Agreement shall be deemed to have been drafted by any one party or that party's attorney.

**C. Agreement Complete.** This Agreement is complete and reflects all of the agreements, representations and warranties between the parties.

**D. No Amendment Except in Writing.** This Agreement may only be amended, changed or modified by a writing executed by the parties.

**E. Binding on Successors And Assigns.** This Agreement is binding upon the successors and assigns of the parties. The parties represent and warrant that there has been no assignment or other transfer of any interest in any claims which they might have or may have had against each other.

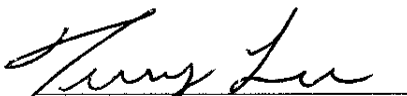
**F. Enforceability Conditioned Upon Execution And Delivery.** In order for the Contract to become effective, all of the parties must sign the Agreement and the fully executed Agreement must be delivered to all of the parties or to their respective agents or attorneys.

**G. Illinois Law.** This Agreement is deemed to have been entered into at Cook County, Illinois and shall be governed by the laws of the State of Illinois. Contractor and Owner agree that any lawsuit arising out of this Agreement or the performance of any terms of this Agreement must be filed in Chicago, Cook County, Illinois.

**H. Headings.** The headings set forth in this Agreement are for the convenience of the parties and should not be consulted in connection with the interpretation of this Agreement.

**I. Counterparts.** This Agreement may be executed in counterparts.

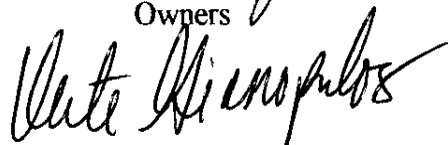
IN WITNESS WHEREOF, the parties hereto have executed, or caused this Agreement to be duly executed the date first written above.



Terry Lee,  
General Contractor, Dabbler & Associates



Kate & Peter Gianopoulos  
Owners



**Exhibit A**

Payment Schedule

~~\_\_\_\_\_~~  
~~\_\_\_\_\_~~

1st week (upon completion of work) \$395.19

2nd week \$395.19

3rd week \$395.19

4th week \$395.19

Final Inspection \$395.19 following (by architect)

Owner and Contractor will outline the scope of work that the Contractor intends to complete for ~~2~~ week at the beginning of each week.

A.L.

PG

	COST (Labor)
<b>FIRST FLOOR</b> All holes, chips, and gaps must be filled as well. This work should be completed in accordance with Illinois Historic Landmark Standards. Install new trim around new entryways on the first floor (e.g. powder room door, south windows in dining room, and French door to entryway). New trim should match the existing trim as closely as possible to ensure approval of Landmark status. Install outlet plates in living room, dining room, entryway, and powder room.	\$770.00
<b>LIVING ROOM</b> Move electrical box for light above mantel. Install light above mantel. Install new mantel. Strip the fireplace tile. Install and clean up thermostat (Currently, the thermostat is covered with paint.).	\$465.00
<b>DINING ROOM</b> Repair and replace floors in areas designated for the built-in corner cabinets. Install pre-fabricated buffet on the South wall. Install pre-fabricated built-in corner cabinets (with doors) on East walls.	\$925.00
<b>POWDER ROOM</b> Install hardware (Satin Nickel) in door. Install outlet plates. Stain doorbell in foyer (right outside powder room) to match the varnish used on the first floor hardwood floors.	\$240.00
<b>ENTRYWAY</b> Install glass in transom above French doors in the entryway. Install pendant light in the entryway. Install hardware (Satin Nickel) in French doors. Install outlet plates.	\$300.00
<b>KITCHEN/PANTRY ROOM</b> Repair and correct archs between the kitchen and dining room. Seal backsplash on North Wall. Complete installation of dishwasher (Currently, the dishwasher is not attached to the granite countertop.) Install baseboard trim on kitchen cabinets. Install granite windowsill in the kitchen window (above the sink). Install kitchen cabinet hardware. Readjust kitchen cabinets. Currently, they are uneven and cannot be opened properly. Install outlet plates. Install hardware (Satin Nickel) in closet door. Install shelves (L shaped) in pantry room. Repair drywall in the pantry room. Currently, there is hole in drywall in the pantry room because the previous contractor nailed a hole into the hot water pipe, causing a significant leak.	\$1,305.00

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*A.L.*  
*PC*

Install sconces on exterior of house (located right outside the kitchen next to the back door).		
<b>STAIRWAY TO BASEMENT</b> Install scence leading to the basement. Replace the pine stairs (leave the treads) with oak. Then, varnish and poly stairs. Stain should match the first floor hardwood. Install trim along stairs. Install handrails from first floor to the basement.	\$1,800.00	all Includes materials, but excludes handrails and sconces.
<b>DEN</b> Drywall over window opening on South wall. Install closet doors. These doors should be varnished the same color as the other second floor doors (same stain used on the hardwood floors). Install outlet plates. Install hardware (Satin Nickel) in door.	\$720.00	
<b>TV ROOM</b> Install trim around window on West wall. Install closet doors. These doors should be varnished the same color as the other second floor doors (same stain used on the hardwood floors). Install hardware (Satin Nickel) in door. Install outlet plates.	\$752.00	
<b>MASTER BATHROOM</b> Install glass in transom in water closet. Install shower glass. Install Moen shower fixture. Tile in shower must be cut to accommodate the fixture. Currently, the plate for the temperature control cannot be installed. Readjust cabinets in master bath. Currently, they are uneven and cannot be opened properly. Install hardware for cabinetry in master bath. Properly exhaust fan in the water closet. Install hardware (Satin Nickel) in door.	\$925.00	
<b>MASTER BEDROOM</b> Install hardware (Satin Nickel) in door.	\$40.00	
<b>EXISTING BATHROOM</b> Properly exhaust bathroom fan. Correct varnish on doors in existing bathroom (touch up stain should be applied to the doors to blend in the whitish spots). Replace existing hardware with Satin Nickel to match the other second floor doors and hinges. Restore electrical service, specifically ensuring that overhead light fixture works properly. When the third button is pushed the left, only one overhead light should illuminate. Install wood transition strips at each of the thresholds in the existing second floor bathroom. ADD this create transition from hall to bathroom and bedroom to bathroom	\$300.00	

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A.L.  
P.C.

		<i>materials included</i>
<b>ATTIC</b> Install finished door to the attic. Repair cracked East window. Insulate the attic.	\$1,917.95	
<b>LAUNDRY ROOM</b> Install cabinet above the slop sink. Install trim around glass block windows in laundry room. Properly vent the dryer. Paint laundry room.	\$655.00	
<b>BASEMENT</b> Pour cement in family room area of the basement. Fully repair large chip in cement lip in family room (This chip is located near the old gas line.) Install plywood over window in the family room. Tighten the bolts connecting the steel beams to the steel columns.	\$415.00	<i>materials included</i>
<b>ENTIRE INTERIOR OF HOUSE</b> Vacuum out all ducts and properly install vents in every room. Complete installation of HV/AC Units by installing final filters and vacuuming HV/AC units in attic and basement.	<del>XXXXXX</del> \$750	
<b>DECK</b> Build deck per the contract. The framing for the rear deck will be pressure treated timber, but all finished wood, including the posts and handrails will be cedar.	\$4,800.00	
<b>Grand Total</b>	<del>XXXXXX</del> \$16,975.95	

The contractor will furnish receipts for all materials not specified in this list on a weekly basis. The cost of materials will be the cost paid for materials + 22%. The owners will remit payment to contractor. Contractor will furnish lien waiver upon receiving payment.

A.L.  
P.C.

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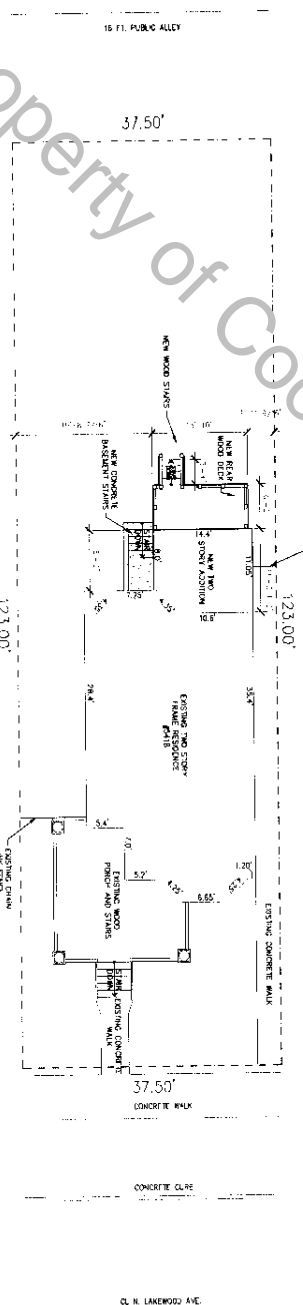
- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH CHICAGO BUILDING DEPARTMENT ORDINANCES AND LOCAL CODES HAVING JURISDICTION.
  2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SATISFACTORY COMPLETION OF THE WORK INDICATED IN THESE DRAWINGS AND DIRECTED BY THE OWNER.
  3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD WITH A PRELIMINARY LAYOUT AND REPORT ANY DISCREPANCIES OR INTERFERENCES TO THE ARCHITECT IMMEDIATELY.
  4. CONTRACTOR AND REQUIRED SUPPLIER SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
  5. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION DURING THE CONSTRUCTION PERIOD, PROVIDE SHOPPING AND BRACING AS REQUIRED FOR ALL DAMAGING EXISTING WORK AND STRUCTURES WHICH ARE TO REMAIN AS PART OF THE WORK SHALL BE TAKEN TO PROTECT EXISTING WALLS, INTERIOR WALLS, FINISHES, CABINETS, CEILING, FLOORS, PARTITIONS AND OTHER WORK WHICH IS TO REMAIN UNLESS OTHERWISE SPECIFIED.
  6. CONTRACTOR SHALL KEEP THE BUILDING AND SITE BROOM CLEAN THROUGHOUT THE CONSTRUCTION PERIOD.
  7. CONTRACTOR SHALL AND DAMAGING EXISTING WORK AND STRUCTURES WHICH ARE TO REMAIN AS PART OF THE WORK SHALL BE TAKEN TO PROTECT EXISTING WALLS, INTERIOR WALLS, FINISHES, CABINETS, CEILING, FLOORS, PARTITIONS AND OTHER WORK WHICH IS TO REMAIN UNLESS OTHERWISE SPECIFIED.
  8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION DURING THE CONSTRUCTION PERIOD, PROVIDE SHOPPING AND BRACING AS REQUIRED FOR ALL DAMAGING EXISTING WORK AND STRUCTURES WHICH ARE TO REMAIN AS PART OF THE WORK SHALL BE TAKEN TO PROTECT EXISTING WALLS, INTERIOR WALLS, FINISHES, CABINETS, CEILING, FLOORS, PARTITIONS AND OTHER WORK WHICH IS TO REMAIN UNLESS OTHERWISE SPECIFIED.
  9. ALL INTERIOR FINISHES TO COMPLY WITH CLASS 1 OF CHICAGO BUILDING CODE, FINISHES, CEILING, AND WALLS TO BE LEVEL AND SQUARE.
  10. ALL FINISHED CEILINGS, AND WALLS TO BE LEVEL AND SQUARE.
  11. DO NOT SCALE DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
  12. ALL DOORS SHALL BE KEPT IN THE DIRECTION OF EGRESS.
  13. PROVIDE WOOD BLOCKING AT ALL BATHROOM ACCESSORIES AS REQUIRED FOR A PROPER INSTALLATION.
  14. ALL FINISHES AND COLORS TO BE INDICATED ON THE DRAWINGS.
  15. PROVIDE 1/2" CEILING JOISTS WALL BOARD AT ALL THE WALLS AND FLOORS, PROVIDE 1/2" WATER RESISTANT Gypsum BOARD (GREEN BOARD) AT ALL OTHER LOCATIONS AT BATHROOMS AND ALL OTHER LOCATIONS.
  16. PROVIDE ADDITIONAL INSULATION AS REQUIRED.
  17. ALL PARTITIONS SHALL RECEIVE BRACES, ALL CERAMIC TILE AND STONE SHALL BE INSTALLED USING THINSET COMPOUND.
  18. DRYWALL FINISHING, APPLY JOINT TAPE AND FINISH JOINTS AT JOINTS AND CORNERS.
  19. PAINTING: PROVIDE 1 COAT PRIMER AND 2 COATS OF FINISH PAINT PAINTED FINISHES.
  20. ALL GLAZED DOORS AND WINDOWS SHALL BE TO BE TYPICAL SLANTING SLIDING GLASS DOORS, STORM DOORS, SHOWER DOORS AND BATHUBS ENCLOSURES.
  21. ALL PARTITIONS SHALL RECEIVE BRACES, ALL CERAMIC TILE AND STONE SHALL BE INSTALLED USING THINSET COMPOUND.
  22. DRYWALL FINISHING, APPLY JOINT TAPE AND FINISH JOINTS AT JOINTS AND CORNERS.
  23. PROVIDE 1 COAT PRIMER AND 2 COATS OF FINISH PAINT PAINTED FINISHES.
  24. ALL GLAZED DOORS AND WINDOWS SHALL BE TO BE TYPICAL SLANTING SLIDING GLASS DOORS, STORM DOORS, SHOWER DOORS AND BATHUBS ENCLOSURES.
  25. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF COMPLETION.
  26. PROVIDE THE FOLLOWING AT ALL EXTERIOR DOORS:  
- CONTINUOUS BEAD OF SEALANT AT THE DOOR THRESHOLDS SET IN BEAD OF SEALANT STRIPPING AND WATER DIPS.
  27. CONTRACTOR SHALL PROVIDE METAL EXPOSED SUPPORTING TWO INCHES FROM THE EDGE OF THE NEW WOOD, FLOOR SHALL BE PAINTED WITH 1 COAT PRIMER 2 FINISH COATS.
  28. ALL CLOSET ROOFS SHALL BE 1" WOOD PAINTED.
  29. ALL SHELVES IN CLOSETS SHALL BE 1" PLYWOOD WITH 1/2" HARDWOOD BUTLINES - PAINTED.
  30. PROVIDE ADJET HANGERS WHERE REQUIRED, USE THE BEST HANGERS AVAILABLE TO THE WORK.

**CODE NOTES**

1. CONSTRUCTION CLASSIFICATION
2. OCCUPANCY CLASSIFICATION
3. CLASS OF CONSTRUCTION
4. PROJECT DISTRICTS OF ADDITION/REMODELING PORCH
5. BUILDING TYPE
6. BUILDING TYPE
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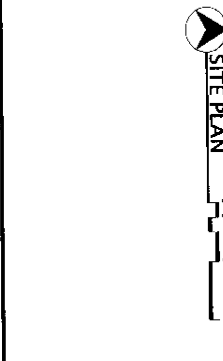
1. SITE PLAN, GENERAL NOTES, DRAWING
2. INTERIOR FLOOR PLANS AND NOTES
3. CONSTRUCTION FLOOR PLANS AND NOTES
4. BUILDING ELEVATIONS AND SECTIONS
5. WALL SECTIONS, INTERIOR ELEVATIONS, MECHANICAL FLOOR PLANS, LIGHT AND VENT SCHEDULE, FINISH SCHEDULE, FINISH SCHEDULE
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MINIMUM REQUIRED THERMAL PERFORMANCE (U-FACTOR AND R-VALUE)					
U-FACTOR	GLAZING	CEILING	WALL	FLOOR	ROOF
	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE
MINIMUM		MINIMUM		MINIMUM	
0.35	R-38	R-18	R-20	R-10	R-20
SLAB PERIMETER		SLAB PERIMETER		SLAB PERIMETER	
R-VALUE AND		R-VALUE AND		R-VALUE AND	
R-10		R-10		R-10	

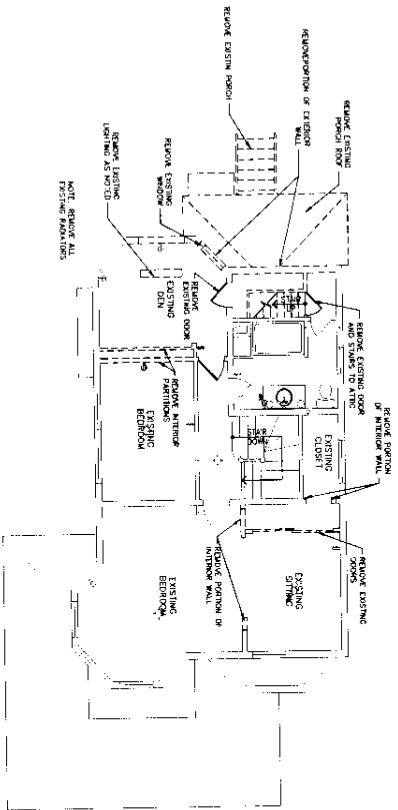
**DESIGN PROFESSIONAL NOTE**  
I CERTIFY THAT I AM A REGISTERED ENGINEERING PROFESSIONAL PERSON IN THE STATE OF ILLINOIS AND THAT THE ATTACHE TO THESE DRAWINGS IS A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES IN THE STATE OF ILLINOIS. I AM PROVIDING ENGINEERING SERVICES IN THE STATE OF ILLINOIS.  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
LICENSE NUMBER: \_\_\_\_\_

**THIS IS TO CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL THE REQUIREMENTS OF THE ORDINANCES OF THE CITY OF CHICAGO, ILLINOIS.**  
FRANK PAUL MICHALSKI  
ILLINOIS LICENSE NO. 021-071498  
EXPIRATION DATE: 11/20/2028  
NRTI-COIT ARCHITECTS  
ILLINOIS LICENSE NO. 184-003373  
EXPIRATION DATE: 4/30/2028  
DATE: \_\_\_\_\_

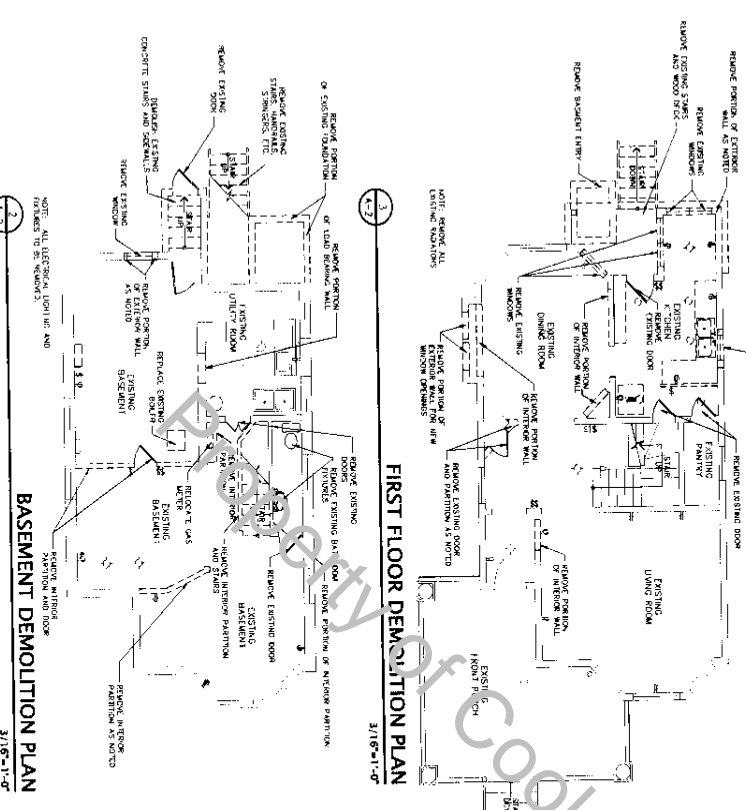


<p><b>GENERAL NOTES, SITE PLAN</b> DRAWING INDEX</p>	
<p>Project: 08-01 Date: 06-11-08 Scale: AS NOTED</p>	<p><b>A-1</b></p>
<p><b>NORTHLIGHT ARCHITECTS</b> 3154 W. DIVERSEY AVE. CHICAGO, IL 60647 PHONE: (773) 539-8100 FAX: (773) 539-8117</p>	
<p>CLIENT: GIANPOLLO'S RESIDENCE 5418 N. LAKEWOOD AVE. CHICAGO, IL 60640</p>	

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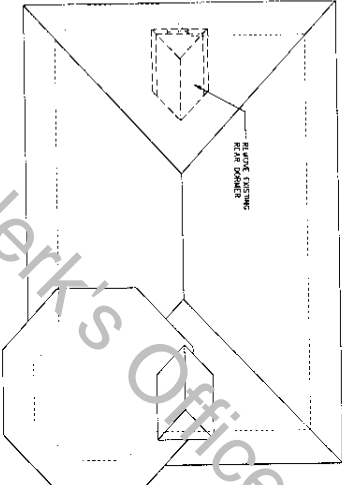


**SECOND FLOOR DEMOLITION PLAN**  
3/16'-1'-0"

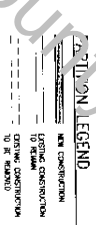


**FIRST FLOOR DEMOLITION PLAN**  
3/16'-1'-0"

**BASEMENT DEMOLITION PLAN**  
3/16'-1'-0"



**ROOF DEMOLITION PLAN**  
3/16'-1'-0"



**ROOF DEMOLITION LEGEND**

NUMBER	LOCATION	DOOR TYPE	MATERIAL	FINISH	REMARKS
201	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
202	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
203	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
204	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
205	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
206	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
207	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
208	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
209	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
210	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
211	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
212	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
213	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
214	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
215	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
216	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
217	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
218	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
219	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
220	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
221	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
222	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
223	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
224	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
225	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
226	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
227	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
228	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
229	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
230	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
231	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
232	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
233	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
234	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
235	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
236	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
237	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
238	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
239	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
240	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
241	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
242	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
243	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
244	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
245	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
246	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
247	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
248	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
249	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	
250	BATHROOM	2'-0" x 6'-0" 1/2"	WOOD	PAINT	

- DOOR TYPES**
- 1. EXTERIOR DOOR SHALL BE FINISHED WITH WOOD DOOR, PAINTED WITH SEMI-GLOSS ENAMEL AND A SELF-CLOSING DEVICE.
  - 2. INTERIOR DOOR SHALL BE FINISHED WITH WOOD DOOR, PAINTED WITH SEMI-GLOSS ENAMEL AND A SELF-CLOSING DEVICE.
  - 3. INTERIOR DOOR SHALL BE FINISHED WITH WOOD DOOR, PAINTED WITH SEMI-GLOSS ENAMEL AND A SELF-CLOSING DEVICE.
- NOTES:**
- EXTERIOR DOOR SHALL BE FINISHED WITH WOOD DOOR, PAINTED WITH SEMI-GLOSS ENAMEL AND A SELF-CLOSING DEVICE.
  - INTERIOR DOOR SHALL BE FINISHED WITH WOOD DOOR, PAINTED WITH SEMI-GLOSS ENAMEL AND A SELF-CLOSING DEVICE.
  - INTERIOR DOOR SHALL BE FINISHED WITH WOOD DOOR, PAINTED WITH SEMI-GLOSS ENAMEL AND A SELF-CLOSING DEVICE.

**DEMOLITION NOTES**

- THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS WITH DASHED LINES.
- OTHER CONDITIONS MAY BE REQUIRED TO INSTALL NEW MECHANICAL, ELECTRICAL, AND PLUMBING RISERS SUCH AS DRAINAGE THROUGH EXISTING STRUCTURAL MEMBERS, AND MODIFICATION OF EXISTING SYSTEMS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NEW SHORING AND BRACING IN ALL AREAS WHERE CONSTRUCTION IS REQUIRED.
- CAUTION SHALL BE EXERCISED DURING DEMOLITION AND NEW CONSTRUCTION SO AS NOT TO ALTER ANY/ALL EXISTING MATERIALS AND FINISHES THAT ARE TO REMAIN.
- BEFORE START OF CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE A DUST-CONTAINING PARTITION OF THE WORK AREA.
- ALL EXISTING WOOD FLOORS IN WORK AREAS AND ON TRAFFIC ROUTES TO WORK AREAS ARE TO BE COVERED AND PROTECTED AS REQUIRED DURING DEMOLITION AND/OR DAMAGED IN ANY WAY AS A RESULT OF THIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST TO REPAIR AND/OR REPLACE EXISTING WOOD FLOORING DAMAGED IN THE COURSE OF THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST TO REPAIR OR REPLACE EXISTING WALLS, CEILING, PARTITIONS, AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS NOT REFERENCING SAME DURING THE COURSE OF THIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE ALL GARBAGE FROM THE BUILDING AT THE END OF EACH DAY OF WORK AND SHALL BE RESPONSIBLE FOR THE COST TO REMOVE ALL CONSTRUCTION DEBRIS AND CLEAN ALL SURFACES OF DIRT, GROUT AND STAINS BEFORE VACATING THE WORK AREA.

Project Name and Address:  
**GIANNILOS RESIDENCE**  
 5418 N. LAKEWOOD AVE.  
 CHICAGO, IL 60640

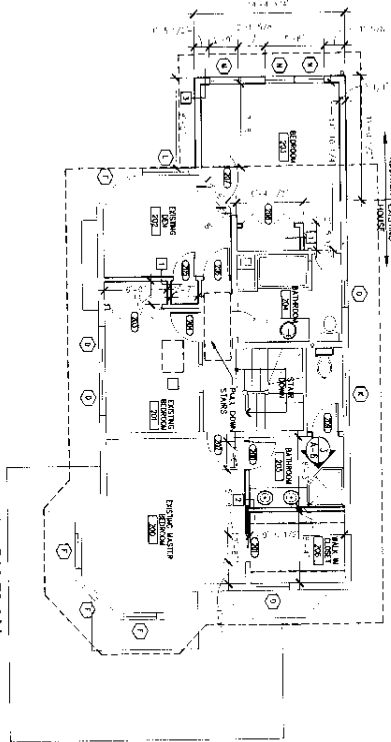
Northlight Architects  
 3154 W. DIVERSEY AVE.  
 CHICAGO, IL 60647  
 PHONE: (773) 539-8100  
 FAX: (773) 539-8117

Contract No.: 06-11-08  
 Date: AS NOTED

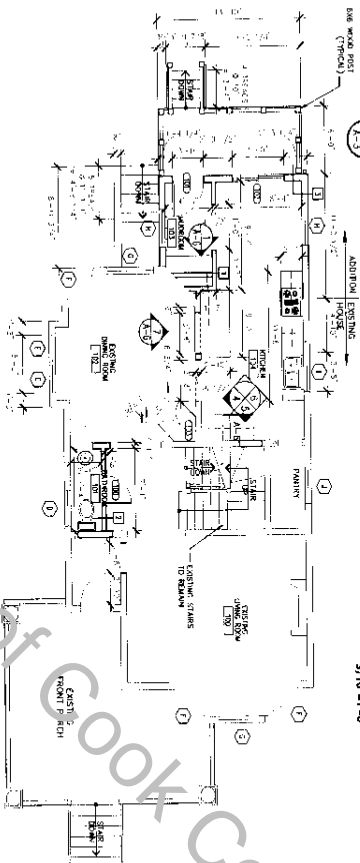
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Revision:  
 06-11-08  
 AS NOTED

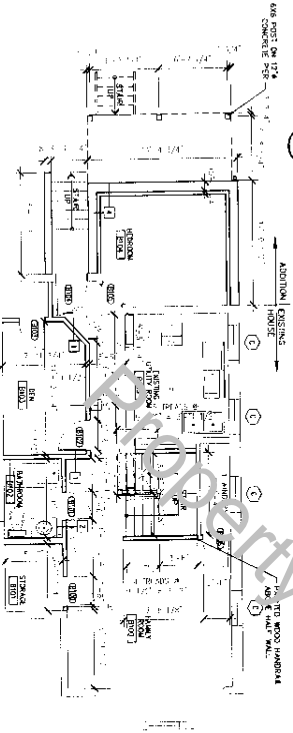
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**SECOND FLOOR CONSTRUCTION PLAN**  
3/16-11-08



**FIRST FLOOR CONSTRUCTION PLAN**  
3/16-11-08



**BASEMENT CONSTRUCTION PLAN**  
3/16-11-08

- PARTITION TYPES CONSTRUCTION:**
- 1. PARTITION TYPE #1: INTERIOR PARTITION CONSTRUCTION  
2 x 4 OR 2 x 6 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM CORE BOARD. BOU STUDS TYPICAL AT INTERSECTIONS.
  - 2. PARTITION TYPE #2: WINDOW SILL PARTITION CONSTRUCTION  
2 x 4 OR 2 x 6 WOOD STUDS @ 16" O.C. WITH 1/2" X 1/2" U.L.T. INSULATION. CONCRETE WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD, BOU STUDS TYPICAL AT INTERSECTIONS.
  - 3. PARTITION TYPE #3: EXTERIOR LOAD BEARING PARTITION CONSTRUCTION  
PARTITION TYPE #3 CONSTRUCTION SHALL BE 12" WIDE 1/2" X 1/2" U.L.T. INSULATION. EXTERIOR WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD, BOU STUDS TYPICAL AT INTERSECTIONS.
  - 4. PARTITION TYPE #4: PARTITION AT WINDOW WALL  
2 x 4 WOOD STUDS @ 16" O.C. WITH 1/2" X 1/2" U.L.T. INSULATION. CONCRETE WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD.
- TYPICAL FLOOR CONSTRUCTION:**
- 1. FLOOR FINISH (SEE FLOOR FINISH) 1/2" X 1/2" U.L.T. INSULATION. CONCRETE WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD.
  - 2. FLOOR FINISH (SEE FLOOR FINISH) 1/2" X 1/2" U.L.T. INSULATION. CONCRETE WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD.
  - 3. FLOOR FINISH (SEE FLOOR FINISH) 1/2" X 1/2" U.L.T. INSULATION. CONCRETE WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD.
  - 4. FLOOR FINISH (SEE FLOOR FINISH) 1/2" X 1/2" U.L.T. INSULATION. CONCRETE WINDOW SILL. CONCRETE WINDOW OR DOOR WITH 5/8" GYPSUM BOARD.

WINDOW SCHEDULE									
NO.	WIDTH	HEIGHT	TYPE	MATERIAL	WOOD	AREA	SPRT	QTY	QUANTITY
1	2'-11 1/2"	2'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	8.1	4.4	2	2
2	2'-9 1/4"	2'-11 1/2"	DOUBLE HUNG	EXISTING	EXISTING	8.3	5.1	4	4
3	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
4	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
5	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
6	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
7	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
8	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
9	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2
10	3'-2"	5'-3 1/2"	DOUBLE HUNG	EXISTING	EXISTING	14.7	8.8	2	2

- NOTES:**
1. VERIFY ALL EXISTING WINDOW DIMENSIONS BEFORE OBTAINING MEASUREMENTS.
  2. SHOWN SHOWN DIMENSIONS AND SPECIFICATIONS FOR ARCHITECT'S APPROVAL.
  3. ALL WINDOWS SHALL BE FULL HEIGHT UNITS WITH 1/2" X 1/2" U.L.T. INSULATION.
  4. WINDOWS SHALL HAVE A SASH WEIGHT OF 0.25 OR LESS.

- CONSTRUCTION NOTES:**
1. ALL WINDOW PARTITIONS TO BE SUBMITTAL PER #1 UNITS.
  2. EXTERIOR WALLS TO BE FINISHED ON PLAN SHALL RECEIVE NEW FINISHING AND 3/4" SBTI.
  3. WINDOW PARTITIONS TO BE FINISHED ON PLAN SHALL RECEIVE NEW FINISHING AND 3/4" SBTI.
  4. ROOM TRAIL WINDOW SHALL HAVE TYPICAL SILL SHALL BE AS MANUFACTURED BY BOSTON BUILDING & CONSTRUCTION CO. (708) 222-6666.
  5. ALL WOOD AT EXTERIOR SHALL BE 1 1/4" X 3 1/4" WITH 1/2" SHIMMING BETWEEN STUDS.

**PARTITION LEGEND**

LINE STYLE	NEW CONSTRUCTION	EXISTING CONSTRUCTION	REMOVE
---	NEW CONSTRUCTION	EXISTING CONSTRUCTION	REMOVE
---	NEW CONSTRUCTION	EXISTING CONSTRUCTION	REMOVE
---	NEW CONSTRUCTION	EXISTING CONSTRUCTION	REMOVE

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Drawn by: NLS

Northlight Architects  
3154 W. DIVERSEY AVE.  
CHICAGO, IL 60647  
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Project Name: ARCHITECTURAL FLOOR PLANS

Sheet: 09-11-08

Scale: AS NOTED

Northlight Architects  
3154 W. DIVERSEY AVE.  
CHICAGO, IL 60647  
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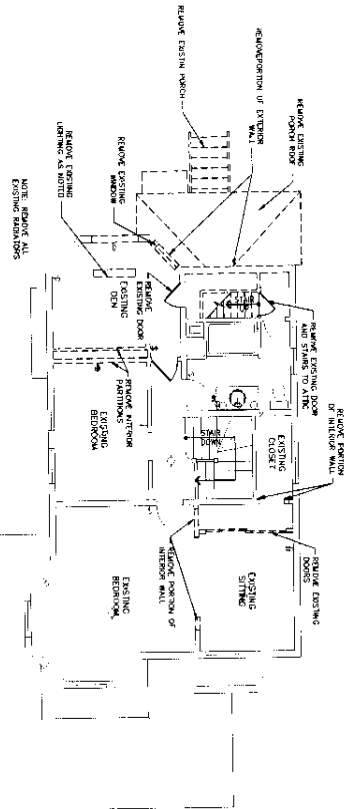
Project Name: ARCHITECTURAL FLOOR PLANS

Sheet: 09-11-08

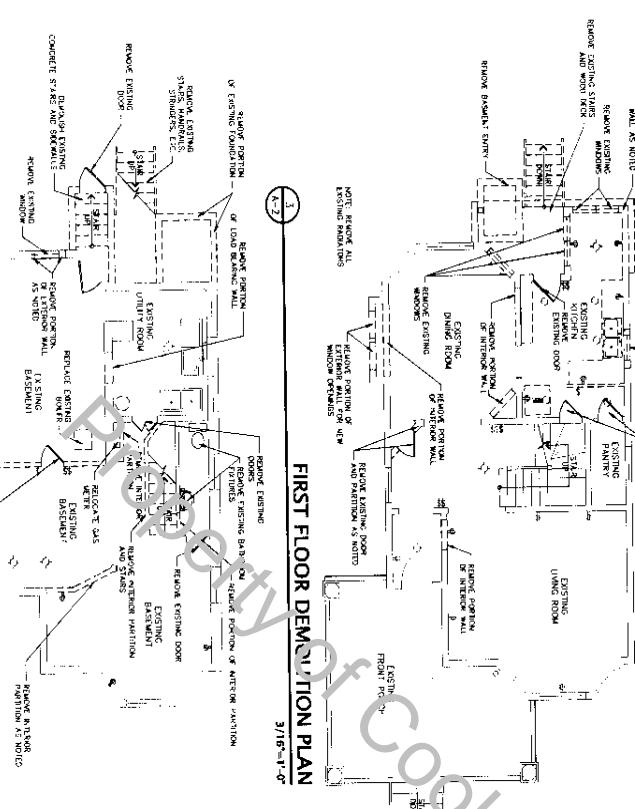
Scale: AS NOTED

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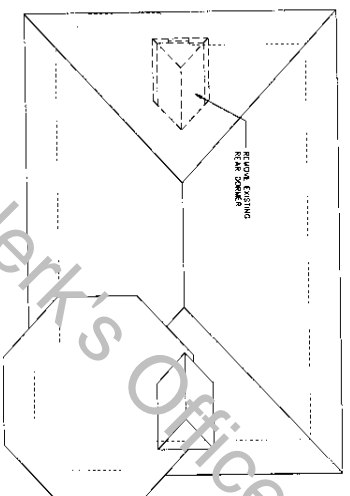


**SECOND FLOOR DEMOLITION PLAN**  
3/16"-1'-0"

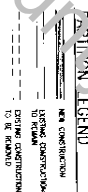


**FIRST FLOOR DEMOLITION PLAN**  
3/16"-1'-0"

**BASEMENT DEMOLITION PLAN**  
3/16"-1'-0"

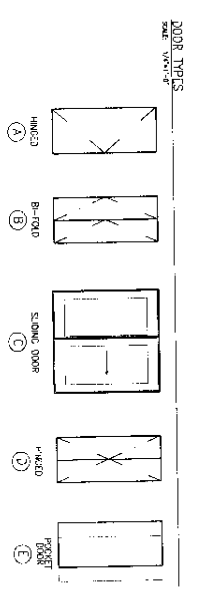


**ROOF DEMOLITION PLAN**  
3/16"-1'-0"



**SECTION A-A**  
**SECTION B-B**

NUMBER	LOCATION	WIDTH	DEPTH	THICK	MATERIAL	FINISH	TYPE	REMARKS
101	ENTRANCE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
102	OFFICE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
103	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
104	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
105	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
106	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
107	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
108	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
109	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
110	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
111	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
112	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
113	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
114	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
115	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
116	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
117	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
118	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
119	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING
120	STORAGE	2'-0"	6'-0"	1'-3/4"	WOOD	PAINT	A	REMOVE EXISTING



- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL REMOVE EXISTING WALLS AND OTHER ASSOCIATED CONSTRUCTION AS INDICATED ON THE DEMOLITION PLANS WITH DASHED LINES.
  2. OTHER DEMOLITION MAY BE REQUIRED TO INSTALL NEW MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS. SUCH DEMOLITION SHALL BE INDICATED ON THE DEMOLITION PLANS.
  3. THE CONTRACTOR SHALL REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS, STRUCTURAL MEMBERS, AND WORKPORTS OF EXISTING WELDING SYSTEMS.
  4. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  5. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  6. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  7. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  8. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  9. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  10. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  11. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  12. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  13. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  14. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  15. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  16. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  17. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  18. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  19. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.
  20. THE CONTRACTOR SHALL REMOVE ALL EXISTING WELDING SYSTEMS.

**Northlight Architects**

3154 W. DIVERSEY AVE  
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**GIANNI PULOS RESIDENCE**  
5418 N. LAKEWOOD AVE.  
CHICAGO, IL 60640

Project Name: ARCHITECTURAL - LUCOR PLANS

Issue: 08-01

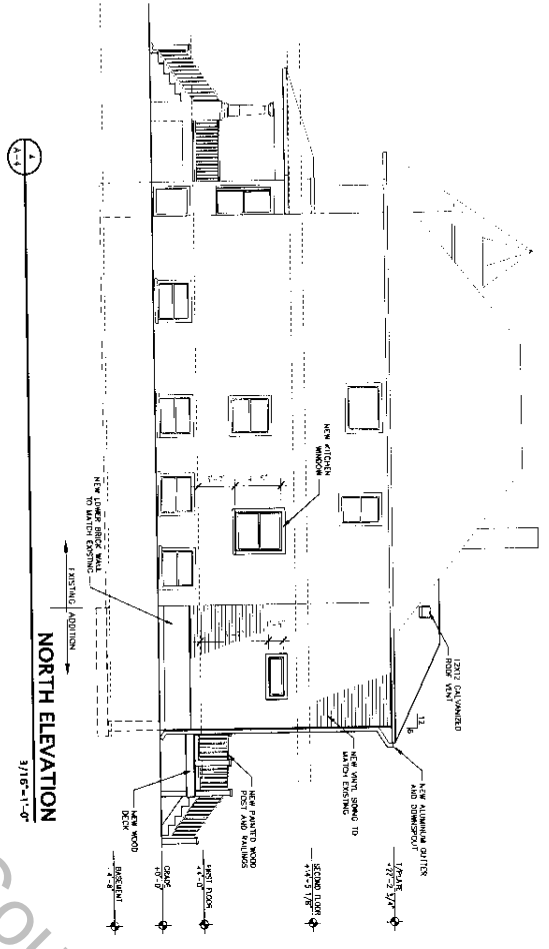
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Scale: AS NOTED

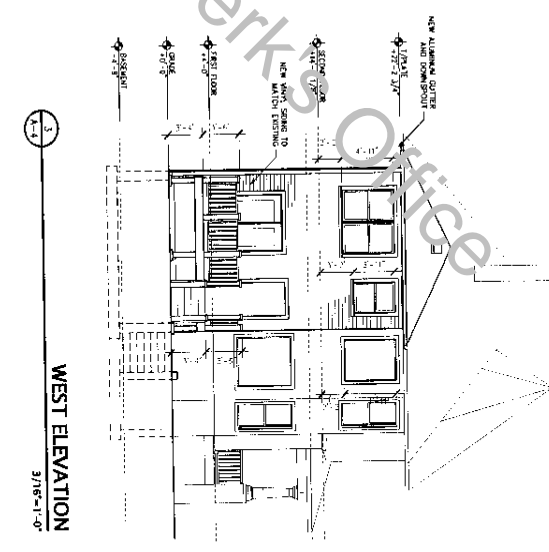
**A-2**

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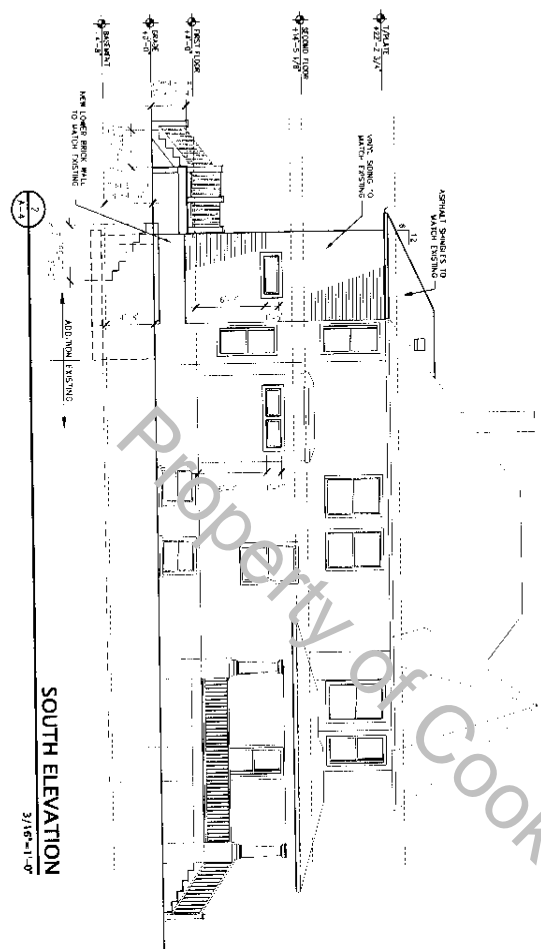
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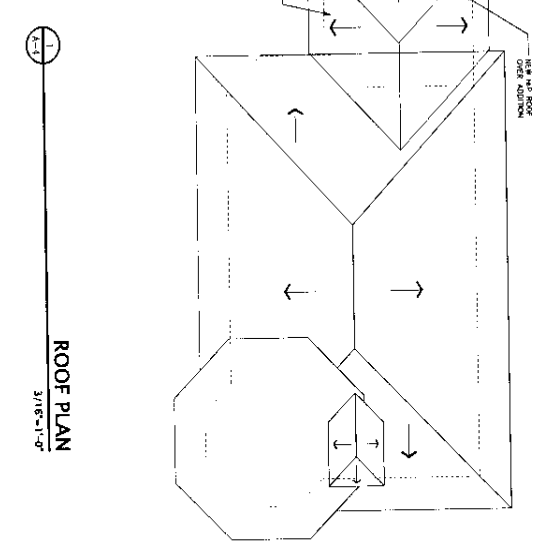
**NORTH ELEVATION**  
3/16"-1'-0"



**WEST ELEVATION**  
3/16"-1'-0"



**SOUTH ELEVATION**  
3/16"-1'-0"



**ROOF PLAN**  
3/16"-1'-0"

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GENERAL NOTES

No.	Description/Issue	Date
1	ISSUE FOR PERMIT	06/11/08

**NORTHLIGHT ARCHITECTS**

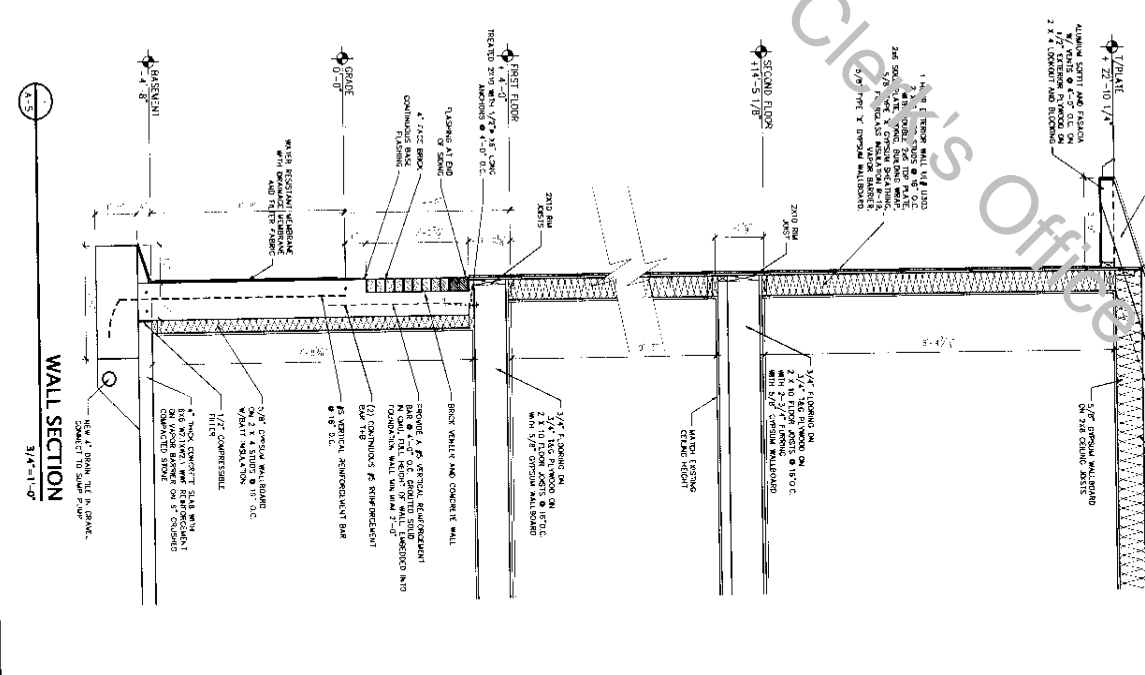
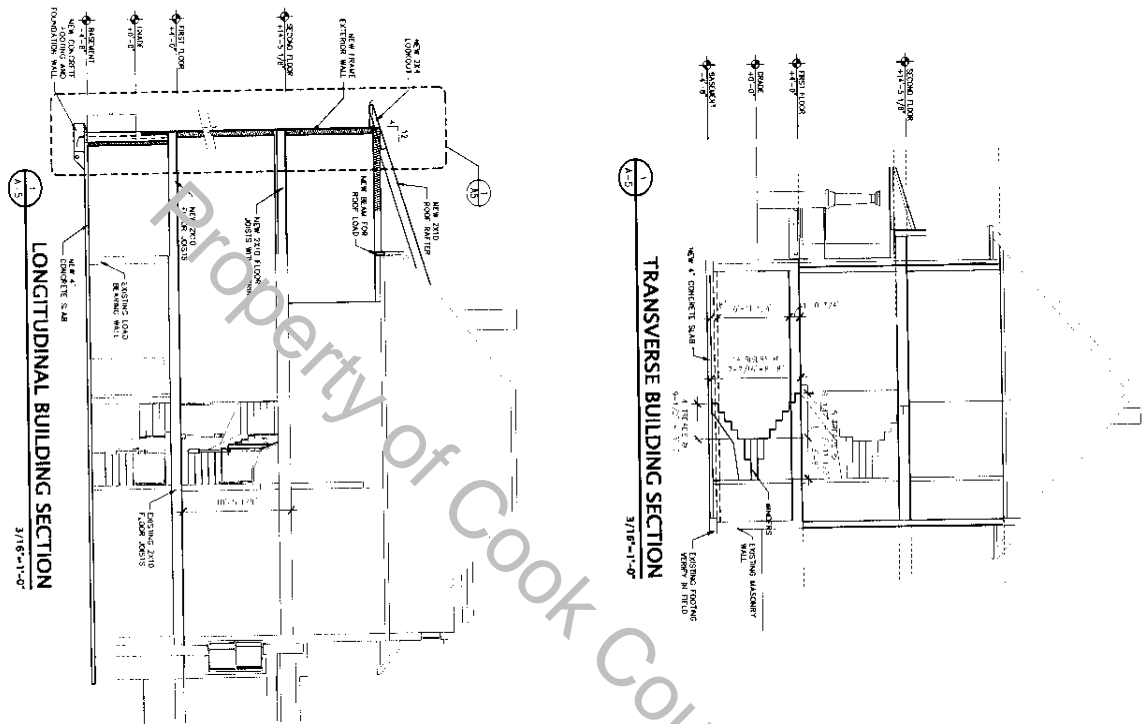
777 North Dearborn  
NORTHLIGHT ARCHITECTS  
3154 W. DIVERSEY AVE.  
CHICAGO, IL 60647  
PHONE: (773) 539-8100  
FAX: (773) 539-9117

Project Name and Address  
GRANPULOS RESIDENCE  
5418 N. LAKEWOOD AVE.  
CHICAGO, IL 60640

BUILDING ELEVATIONS

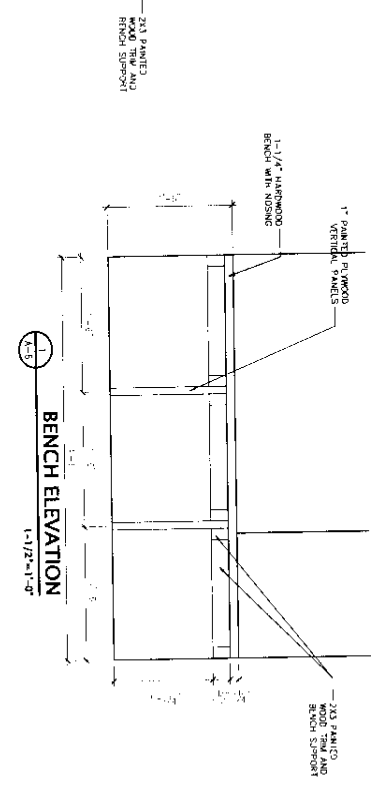
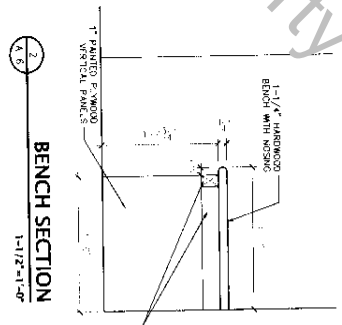
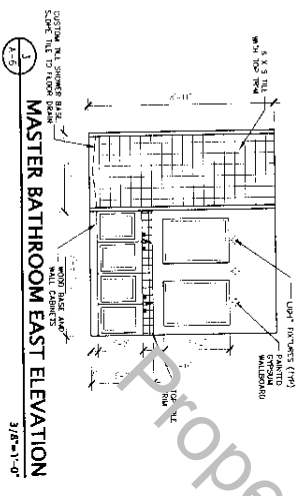
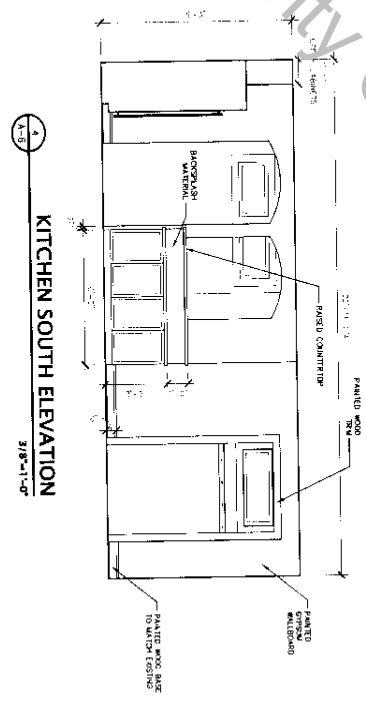
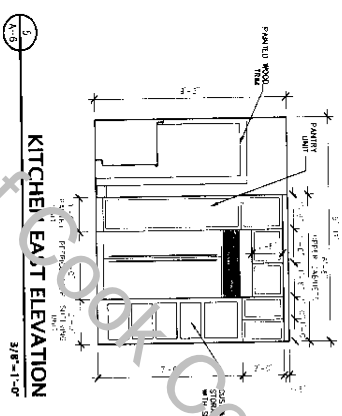
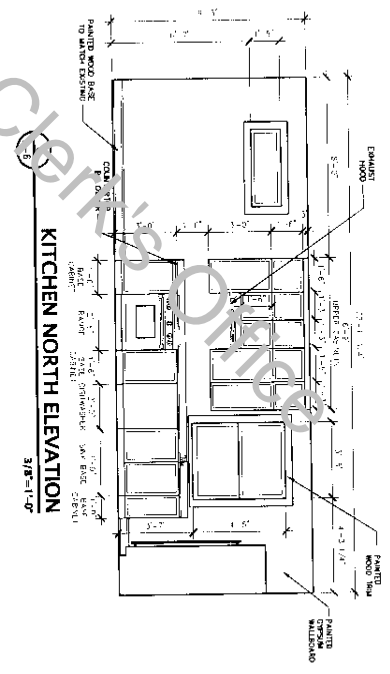
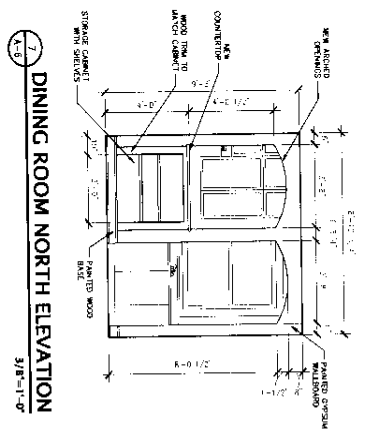
Project No.	08-01	Sheet	
Date	06-11-08	Scale	A-4
Drawn By	AS NOTED	Checked By	

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<p>© WASHINGTON ARCHITECTS 2008</p> <p>Drawing Number</p>	
<p>Project Name and Address</p> <p><b>NORTHLIGHT ARCHITECTS</b></p> <p>NORTHLIGHT ARCHITECTS 3154 W. DIVERSEY AVE. CHICAGO, IL 60647 PHONE: (773) 539-8100 FAX: (773) 539-8117</p>	
<p>Client Name and Address</p> <p>GIANNIPIOS RESIDENCE 5478 N. LAKEWOOD AVE. CHICAGO, IL 60640</p>	
<p>Interior Elevations Wall Section</p>	<p>Sheet Number</p> <p><b>A-5</b></p>
<p>Scale</p> <p>AS NOTED</p>	<p>Issue For</p> <p>PERMIT</p> <p>Date</p> <p>06/11/08</p>

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General Notes

1		ISSUE FOR PERMIT	06/11/08
No.		Revision/Date	Date

**NORTHLIGHT ARCHITECTS**

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3154 W. DIVERSEY AVE.  
CHICAGO, IL 60647  
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Project Name and Address:  
GIANPOLIS RESIDENCE  
5418 N. LAKEWOOD AVE  
CHICAGO, IL 60640

Interior Elevations  
WALL SECTION

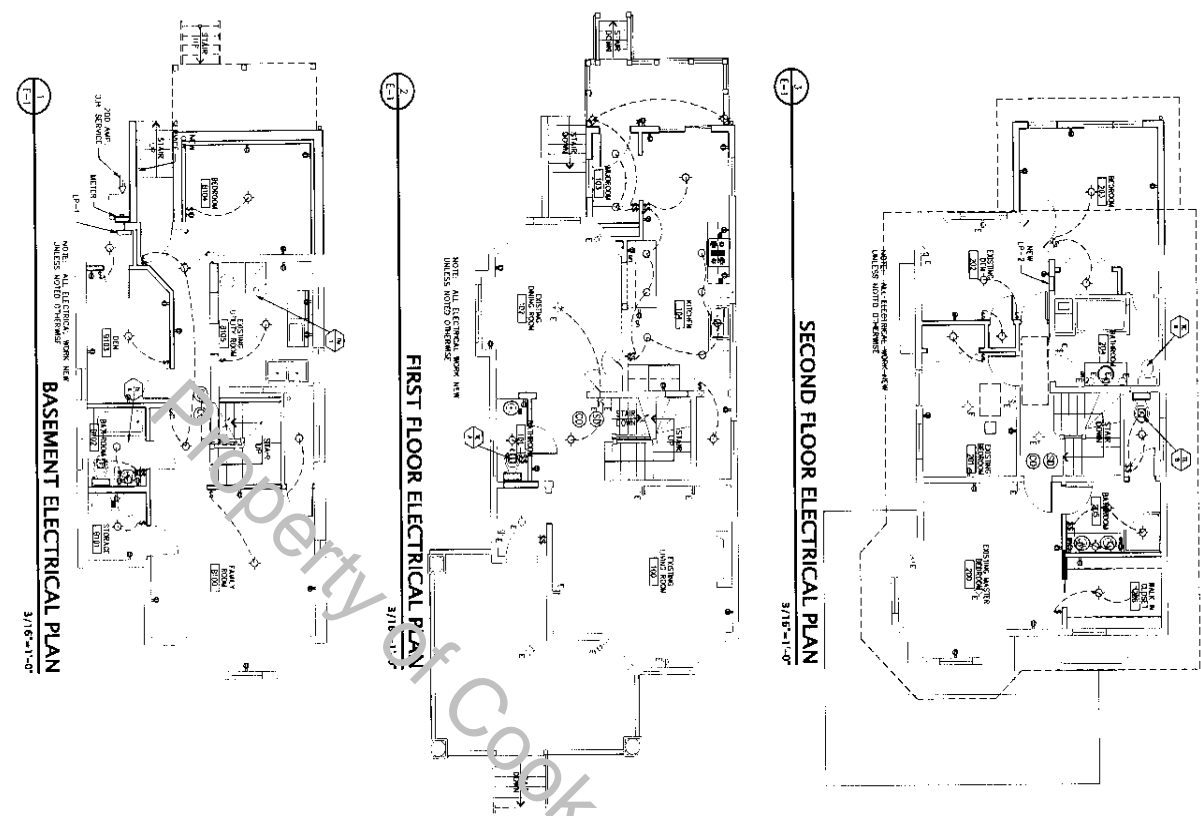
Project No: 08-01

Date: 06-11-08

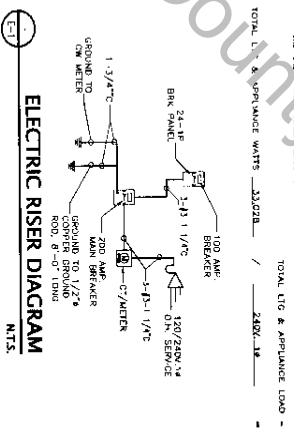
Scale: AS NOTED

A-6





- ### ELECTRICAL NOTES
1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND THE NEW REQUIREMENTS SO THAT ALL NEW WORK, INCLUDING ALL NEW AND EXISTING CONNECTIONS IS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
  2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
  3. OBTAIN AND PAY FOR ALL ELECTRICAL PERMITS.
  4. PROVIDE COMPLETE ELECTRICAL SYSTEM FOR THE BUILDING, INCLUDING NEW SERVICE, FEEDERS, PANELS, DISC, SWITCH, WEATHERS, BREAKERS, TUBS, WIRING, AND CONDUITS.
  5. PROVIDE LIGHTING SYSTEM INCLUDING FIXTURES, WIRING, CONDUITS, LAMPS, SWITCHES AND WALL PLATES.
  6. PROVIDE RECEPTION SYSTEM AS INDICATED, INCLUDING WIRING, CONDUITS, JUNCTIONS AND ALL ACCESSORY EQUIPMENT SYSTEMS, AND PROVIDE THE FOLLOWING:



APPROXIMATE LOADS: 22019.8 WATTS

NO. OF FLOOR BREAKERS	1	120V/240V/3-W	100 AMP
OTHER COOKING APPLIANCES	1	120V	1200 WATTS
NO. OF DISHWASHERS	1	120V	1200 WATTS
NO. OF ELEC. HOT WATER	2	120V	1200 WATTS
NO. OF FAN COIL UNITS	2	120V	1200 WATTS
NO. OF FLOOR LIGHTS	1	120V	1200 WATTS
NO. OF AIR-CONDITIONERS	1	120V	1200 WATTS
NO. OF ALL-CLIMATE	1	120V	1200 WATTS
NO. OF AIR-CONDITIONERS	1	120V	1200 WATTS
NO. OF AIR-CONDITIONERS	1	120V	1200 WATTS
NO. OF AIR-CONDITIONERS	1	120V	1200 WATTS

APPROXIMATE LOADS: 22019.8 WATTS

TOTAL L.T.S. & APPLIANCE WATTS = 22019.8 WATTS / TOTAL GEN. L.T.S. = 1248.0 WATTS

PROJECT NAME	GRANDOLDS RESIDENCE
ADDRESS	3434 N. LAKEWOOD AVE.
BLDG EXTERIOR DIMENSIONS	36'-0" X 20'-0"
BLDG EXTERIOR PERIMETER	112'-0"
BLDG EXTERIOR AREA	720'-0"
TOTAL NO. OF FLOORS	3
TOTAL NO. OF ROOMS	14
TOTAL NO. OF WALLS	114
TOTAL NO. OF CEILING	114
TOTAL NO. OF FLOOR	114
TOTAL NO. OF DOORS	11
TOTAL NO. OF WINDOWS	11
TOTAL NO. OF BATHS	1
TOTAL NO. OF KITCHENS	1
TOTAL NO. OF BLDG. LIGHTS	11
TOTAL NO. OF BLDG. LIGHTS	11
TOTAL NO. OF BLDG. LIGHTS	11

- NOTE:
1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
  2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

### PANEL SCHEDULE LP-1

CIRCUIT	TYPE	DESCRIPTION	LOAD
1.3	120V	MAIN BREAKER	100 AMP
2	240V	240V/2-W/2-W	100 AMP
3	120V	2-FLOOR WATERS	1200 WATTS
4	120V	2-FLOOR DISHWASHERS	1200 WATTS
5	120V	2-FLOOR HOT WATER	1200 WATTS
6	120V	2-FLOOR FAN COILS	1200 WATTS
7	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
8	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
9	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
10	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
11	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
12	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
13	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS

### PANEL SCHEDULE LP-2

CIRCUIT	TYPE	DESCRIPTION	LOAD
13.5	120V	2-FLOOR WATERS	1200 WATTS
14	120V	2-FLOOR DISHWASHERS	1200 WATTS
15	120V	2-FLOOR HOT WATER	1200 WATTS
16	120V	2-FLOOR FAN COILS	1200 WATTS
17	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
18	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
19	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS
20	120V	2-FLOOR AIR-CONDITIONERS	1200 WATTS

**NORHLIGHT ARCHITECTS**

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CHICAGO, IL 60647  
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FAX: (773) 539-8117

Project: 09-101  
Date: 06-11-08  
Title: E-1

Grandolds Residence  
3434 N. LAKEWOOD AVE.  
CHICAGO, IL 60640

ELECTRICAL FLOOR PLANS



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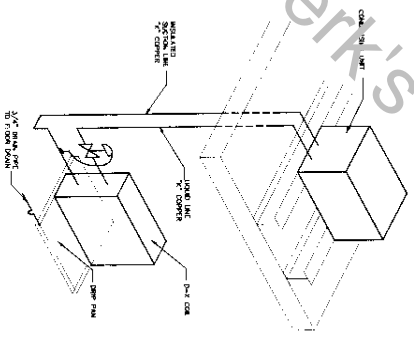
Property of Cook County Clerk's


**REFRIGERANT COMPRESSOR SCHEDULE**

TAC	NO. OF TONS	HP	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT	REFRIGERANT
1	2	3	4	5	6	7	8	9	10	11	12	13
1	1	1	1	1	1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2	2	2	2	2	2

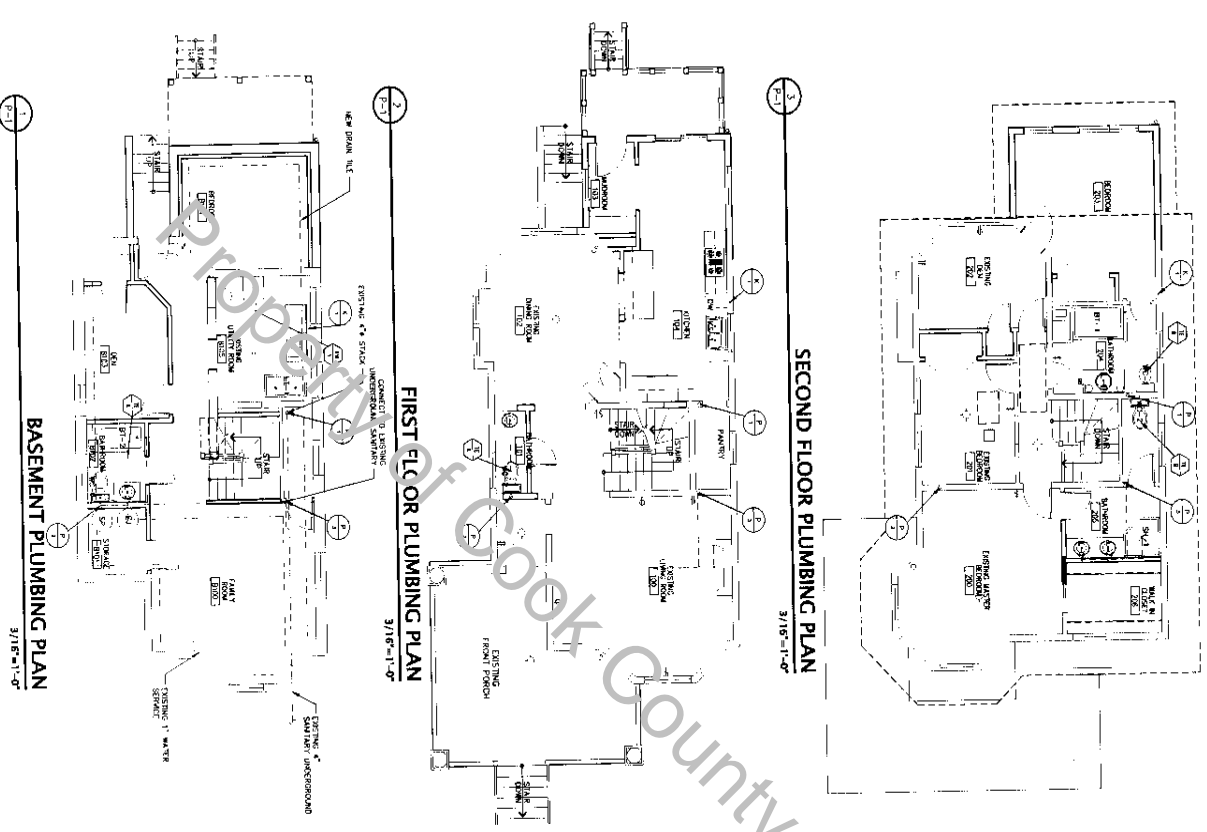
1. 3/4" SECTION AND 3/8" LIQUID
2. 1/2" REFRIGERANT RELIEF VALVE IN TOP LOCATION OF THE HIGH END OF COMPRESSOR DISCHARGE BEFORE SHUT-OFF VALVE.
3. INSTANT PRESSURE RELIEF VALVE IN TOP LOCATION OF THE HIGH END OF COMPRESSOR DISCHARGE BEFORE SHUT-OFF VALVE.
4. FLOWING EXPANSION VALVE BEHIND ALL CONNECTIONS FROM AIR STREAM.
5. REFRIGERATION PIPING OF TYPE \_\_\_\_\_
6. ALL CONNECTIONS AND FITTINGS TO BE BRASS.

**REMOTE REFRIGERATION PIPING DIAGRAM**  
NOT TO SCALE



 <b>NORTHLIGHT ARCHITECTS</b>	Project Name and Address: NORTHLIGHT ARCHITECTS 3154 W. DIVERSEY AVE. CHICAGO, IL 60647 PHONE: (773) 539-8190 FAX: (773) 539-8117	Project Name and Address: GIANNIPILOS RESIDENCE 5425 N. LAKEWOOD AVE. CHICAGO, IL 60640	Project Name: REFRIGERANT COMPRESSOR SCHEDULE REMOTE REFRIGERATION PIPING DIAGRAM Date: 08-01
Issue For: PERMIT Date: 08/11/08	Project No.: M-1 Date: 08-11-08 AS NOTED		

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### PLUMBING FIXTURE SCHEDULE


NO.	FIXTURE	MANUFACTURER	MODEL NO.	QTY.	FINISH/COLOR
WC-1	LAUNDRY TUB	EXISTING	EXISTING	1	WHITE
WC-1	TILESET	EXISTING	EXISTING	1	WHITE
WC-1	LAUNDRY	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE
WC-2	TOILET	EXISTING	EXISTING	1	WHITE

### PLUMBING FIXTURE COUNT

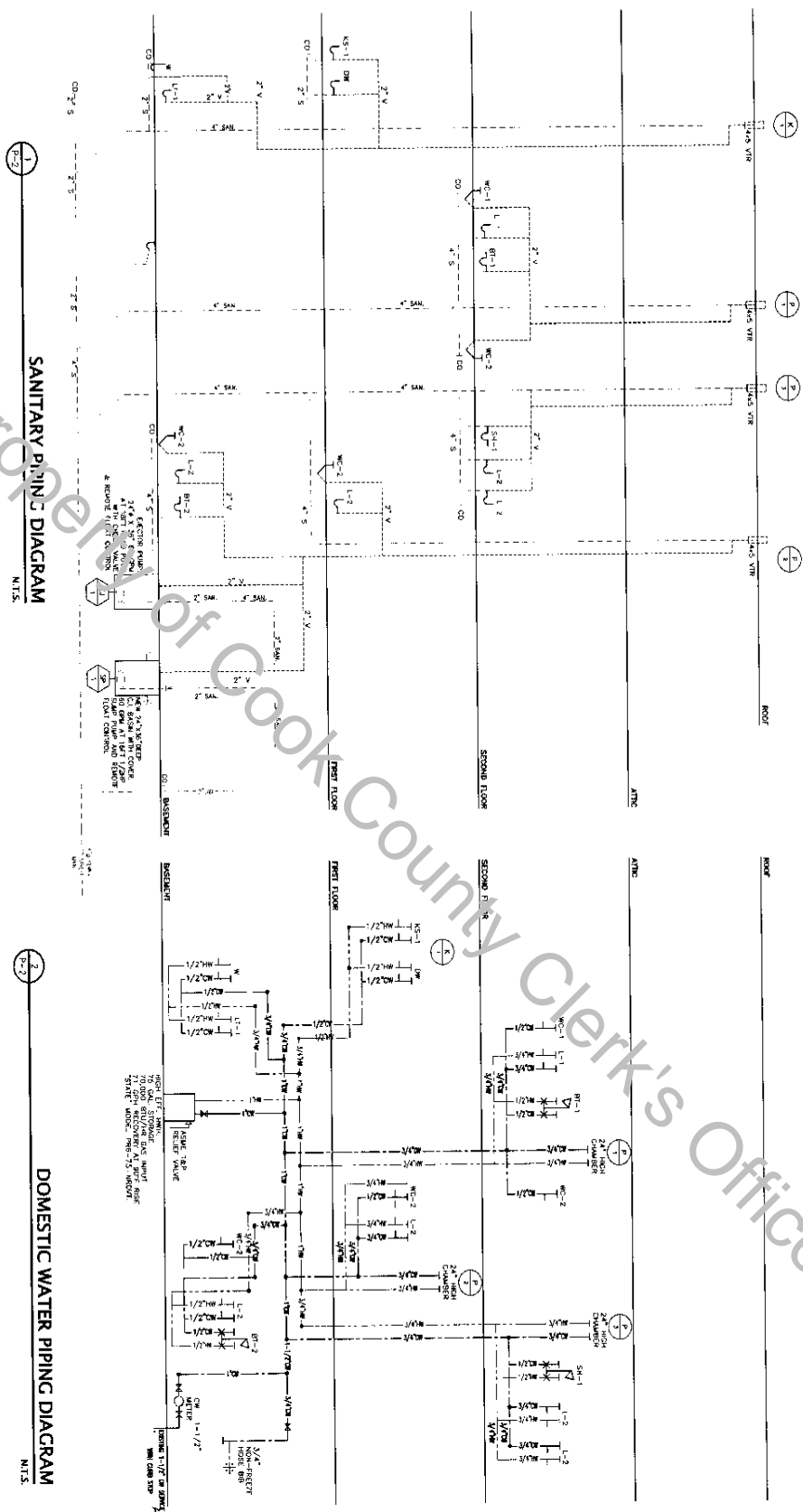
FLOOR	BR	W	HW	KS	SH	LT	WR	S	TOTAL
BASEMENT	1	1	1	1	1	1	1	1	8
FIRST FLOOR	1	1	1	1	1	1	1	1	8
SECOND FLOOR	1	1	1	1	1	1	1	1	8
<b>TOTAL</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>3</b>	<b>24</b>

### PLUMBING NOTES

- CONTRACTOR SHALL VERIFY THE CONDITION AND SIZE FOR THE INSTALLATION OF WORK. MAKE ALL NECESSARY FITTING AND CONNECTIONS AS REQUIRED FOR A COMPLETE SYSTEM.
- ALL WORK SHALL MEET CITY OF CHICAGO CODES.
- ALL COPPER SCHEDULE 80 PIPE TO BE TYPE "K". ALL COPPER FITTINGS TO BE TYPE "K".
- ALL COPPER HOT AND COLD WATER PIPING SHALL BE INSULATED WITH 1/2" THICK 3-LIB BENTON PERFEKUL INSULATION OF UNIVERSAL JACKET TYPE ALL JOINTS WITH 1/2" WHITE FIBRO GLASS WATER RESISTANT INSULATION.
- ALL DOMESTIC WATER HEATING SYSTEMS SHALL BE TYPE "K" COPPER WITH FIBRO-FLEX SOLDERLESS JOINTS.
- PROVIDE COMPLETE NEW DOMESTIC WATER DISTRIBUTION SYSTEM INCLUDING NEW WATER SERVICE, HOT WATER HEATER, COLD WATER RETURN PIPING, INSULATION, AND ALL NECESSARY SHUT-OFF VALVES.
- PROVIDE NEW PLUMBING FIXTURES WITH TAPS, FAUCETS, SUPPLY, AND TRIMS, INCLUDING FACETS AND SHUT-OFF VALVES. MAKE ALL NECESSARY CONNECTIONS TO MAKE COMPLETE WATER PIPING, SANITARY PIPING AND VENT PIPING. FINISHES AT INDICATED POINTS SHALL BE 1/2" MIP, ALL WATER AND BROWNE FITTED.
- ALL SANITARY PIPING AND CONNECTIONS SHALL BE INSULATED WITH 1/2" THICK 3-LIB BENTON PERFEKUL INSULATION.
- PROVIDE COMPLETE SANITARY AND VENT PIPING SYSTEMS, AND CONNECT INTO STREET MAIN.
- PROVIDE NEW DOMESTIC WATER SERVICE, INCLUDING COLD WATER AND PRESS. AND ALL NECESSARY PRESSURE CONTROLS AND RELIEF VALVES.
- PROVIDE NEW SANITARY PIPING AND VENT PIPING SYSTEMS, INCLUDING COLD WATER AND PRESS. AND ALL NECESSARY PRESSURE CONTROLS AND RELIEF VALVES.
- PROVIDE ALL NECESSARY PRESSURE TESTS AS REQUIRED.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE FULL YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.
- PROVIDE ALL DURING AND ARCHIVING FOR THE INSTALLATION OF HIS OWN WORK.
- PROVIDE ELECTRICAL PIPING UNIT AS INDICATED.
- PROVIDE NEW SANITARY FLOOR DRAIN AND TRAPS AND CONNECT TO SANITARY PIPING.
- ALL PVC TO BE SCHEDULE 40 TO MEET CODE.
- ALL PVC SYSTEMS TO BE DAY WITH PIPING INSULATOR AND CLEAN PVC JOINTS.
20. ALL PVC JOINTS TO BE DAY WITH PIPING INSULATOR AND CLEAN PVC JOINTS.
21. ALL PVC JOINTS TO BE DAY WITH PIPING INSULATOR AND CLEAN PVC JOINTS.

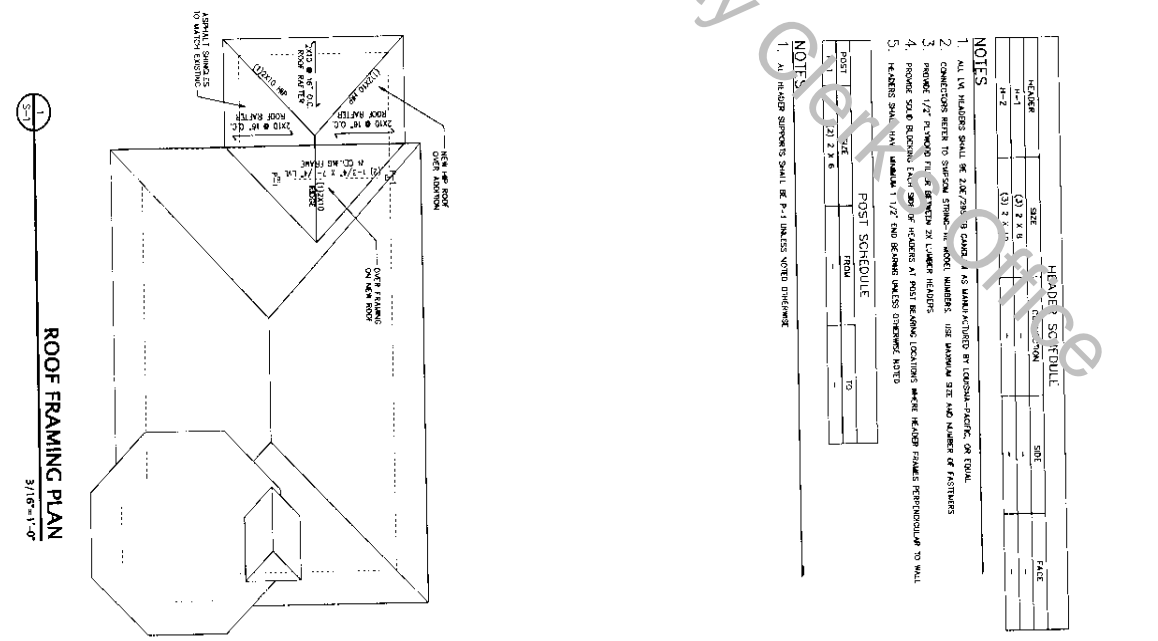
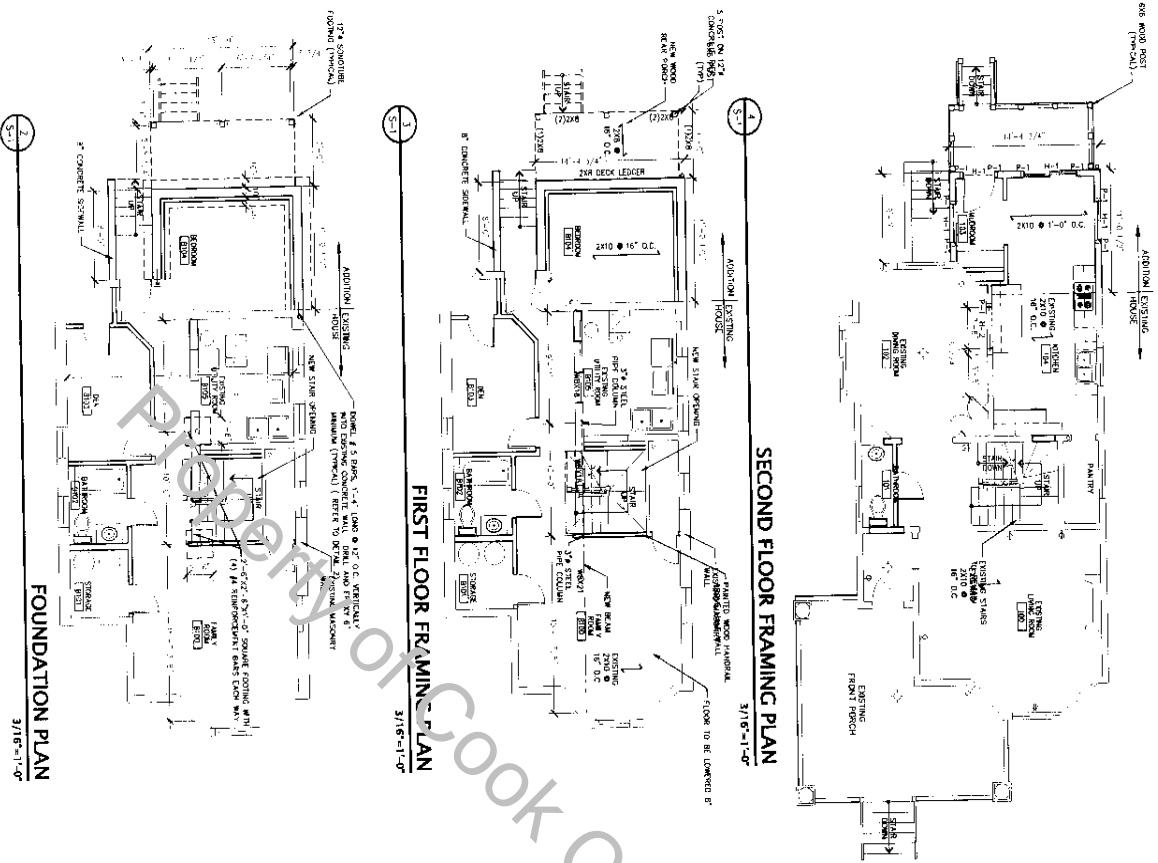
<b>REVISIONS</b>	<p>1. ESSENTIAL FOR 08/11/08</p> <p>REVISION</p> <p>DATE</p> <p>BY</p>	 <p><b>NORTHLIGHT ARCHITECTS</b></p> <p>3154 W. DIVERSEY AVE. CHICAGO, IL 60647 PHONE: (773) 539-8100 FAX: (773) 539-8117</p> <p>PROJECT: GIANNIROS RESIDENCE 5418 N. LAWWOOD AVE. CHICAGO, IL 60640</p>
<p>DATE: 08-11-08</p> <p>BY: AS NOTED</p>	<p><b>P-1</b></p>	

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<p>Project: 08-111</p> <p>Date: 06-11-08</p> <p>Notes: AS NOTED</p>	<p><b>P-2</b></p>
<p>PIPING DIAGRAMS</p>	
<p>GIANDRUPPO'S RESIDENCE 5418 N. LAKEWOOD AVE. CHICAGO, IL 60640</p>	
<p>Project Name and Address</p> <p><b>NORTHLIGHT ARCHITECTS</b></p> <p>NORTHLIGHT ARCHITECTS 3154 W. DIVERSEY AVE. CHICAGO, IL 60647 PHONE: (773) 539-8700 FAX: (773) 539-8117</p>	
<p>No. 1</p> <p>ISSUE FOR PERMIT</p> <p>Rev/Date</p>	<p>Date: 06/11/08</p>

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**NOTES**

1. ALL LVL HEADERS SHALL BE 2X8/2X10 IN GIRDERS AS MANUFACTURED BY LAMBERT-FRANCIS OR EQUAL.
2. CONNECTIONS REFER TO SPECIAL STUDIES BY WOOD BUILDERS. USE LAMBERT SIZE AND NUMBER OF FASTENERS.
3. PROVIDE 1/2" PLATE FOR TYPICAL TRUSS TO LAMBER HEADERS.
4. PROVIDE SOLID BLOCKING (MIN. 30") OF HEADERS IN POST BEARING LOCATIONS WHERE HEADER FRAMES PERPENDICULAR TO WALL.
5. HEADERS SHALL HAVE MINIMUM 1 1/2" END BEARING UNLESS OTHERWISE NOTED.

**POST SCHEDULE**

POST	SIZE	FROM	TO
1	2 1/2 x 8		

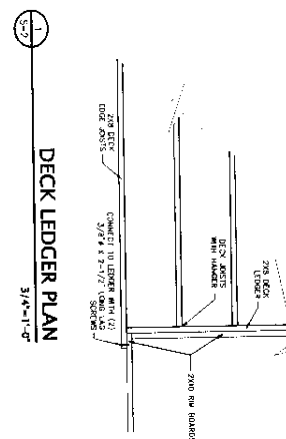
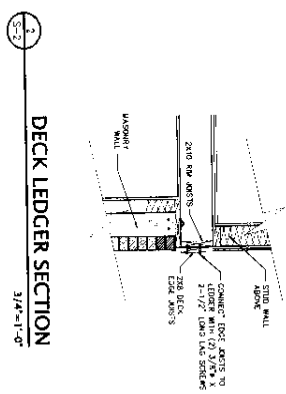
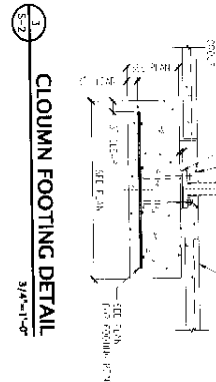
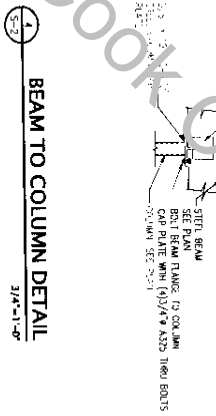
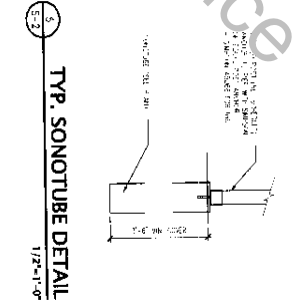
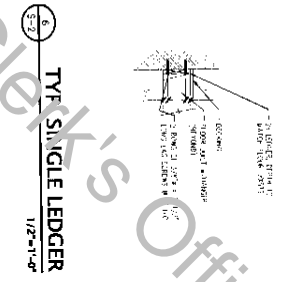
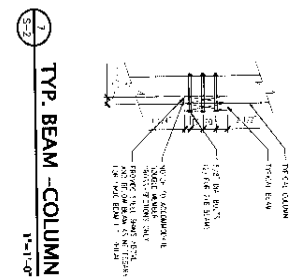
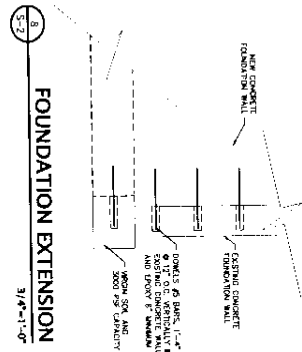
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General Notes

<p><b>NORTHLIGHT ARCHITECTS</b></p> <p>1150 N. LAKEWOOD AVE. CHICAGO, IL 60647 PHONE: (773) 539-8110 FAX: (773) 539-8117</p>	<p>Project: 08-01 Date: 08-11-08 Scale: AS NOTED</p> <p style="text-align: center; font-size: 2em; font-weight: bold;">S-1</p>
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General Notes									
<p>Project Name and Address <b>STRUCUTURAL DETAILS</b></p> <p>Scale 08 01</p> <p>Date 08-11-08</p> <p>Notes AS NOTED</p>	<p style="text-align: center;"><b>NORTHLIGHT ARCHITECTS</b></p> <p style="text-align: center;">NORTHLIGHT ARCHITECTS 3154 W. DIVERSEY AVE. CHICAGO, IL 60647 PHONE: (773) 539-8100 FAX: (773) 539-8111</p> <p style="text-align: center;">GRANOPoulos RESIDENCE 5418 N. LAKEWOOD AVE. CHICAGO, IL 60640</p>								
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">REVISION/ISSUE</th> <th style="width: 50%;">DATE</th> </tr> <tr> <td style="text-align: center;">1</td> <td>SCALE FOR PERMANENT</td> <td style="text-align: center;">06/11/08</td> </tr> </table>	NO.	REVISION/ISSUE	DATE	1	SCALE FOR PERMANENT	06/11/08	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <p><b>S-2</b></p> </td> <td style="width: 50%;"></td> </tr> </table>	<p><b>S-2</b></p>	
NO.	REVISION/ISSUE	DATE							
1	SCALE FOR PERMANENT	06/11/08							
<p><b>S-2</b></p>									

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- BUILDING LOADS**
- |                     |         |
|---------------------|---------|
| ROOF LIVE LOAD/SNOW | 20 PSF  |
| FLOOR LIVE LOAD     | 40 PSF  |
| FLOOR DEAD LOAD     | 15 PSF  |
| DECK LIVE LOAD      | 100 PSF |
- CONCRETE**
1. CONCRETE SHALL BE DESIGN WEIGHT CONCRETE TO ASTM C111 AND SLABS ON GRADE - 4000 PSI.
  2. ALL OTHER FOUNDATIONS - 4000 PSI.
  3. ALL OTHER FOUNDATIONS - 4000 PSI.
  4. ALL OTHER FOUNDATIONS - 4000 PSI.
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  19. ALL OTHER FOUNDATIONS - 4000 PSI.
  20. ALL OTHER FOUNDATIONS - 4000 PSI.

CONCRETE SHALL BE DESIGN WEIGHT CONCRETE TO ASTM C111 AND SLABS ON GRADE - 4000 PSI.

- REINFORCING BARS SHALL BE NEW BUILT STEEL CONFORMING TO ASTM A618, GRADE 60.**
1. REINFORCING BARS SHALL BE NEW BUILT STEEL CONFORMING TO ASTM A618, GRADE 60.
  2. HORIZONTAL WALL REINFORCING SHALL LAP 48 BAR DIAMETERS AT 1/4 BAR DIA. AND 12" O.C. IN FIELD.
  3. ALL STUD WALLS SHOWN ON THE STRUCTURAL DRAWINGS SHALL HAVE 2# X 16" OR 2# X 20" STEELS SPACED 16" O.C. AS SHOWN.
  4. TOP REINFORCING SHALL BE DOUBLED ON ALL STUD WALLS.
  5. CORNERS UNDER HEADERS SHALL BE CONTINUOUS TO THE SOLE PLATE.
  6. BLOCK ALL STUD WALLS AS REQUIRED FOR WEATHENING.
  7. REINFORCING SHALL BE DOUBLED AT ALL STUD WALLS.
  8. ALL JOISTS SHALL HAVE A MINIMUM OF 2" INCL. AT SUPPORTS.
  9. ALL JOISTS SHALL HAVE 4" LAPS OVER 10' OR AT INTERIOR SUPPORTS.
  10. ALL WALL BRACING SHALL BE APPLIED AS FOLLOWS:

REINFORCING BARS SHALL BE NEW BUILT STEEL CONFORMING TO ASTM A618, GRADE 60.

- WOOD CABINETRY**
1. ALL PLYWOOD SHALL BE DRY GRAD WAREHOUSE TO COMPLY WITH PS-106 AND SHALL BE MANUFACTURED TO COMPLY WITH ASTM A183. ALL PLYWOOD SHALL BE 3/4" THICK UNLESS OTHERWISE SPECIFIED.
  2. ALL STUD WALLS SHOWN ON THE STRUCTURAL DRAWINGS SHALL HAVE 2# X 16" OR 2# X 20" STEELS SPACED 16" O.C. AS SHOWN.
  3. TOP REINFORCING SHALL BE DOUBLED ON ALL STUD WALLS.
  4. CORNERS UNDER HEADERS SHALL BE CONTINUOUS TO THE SOLE PLATE.
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  9. ALL JOISTS SHALL HAVE 4" LAPS OVER 10' OR AT INTERIOR SUPPORTS.
  10. ALL WALL BRACING SHALL BE APPLIED AS FOLLOWS:
  11. SAWY LUMBER JOISTS SHALL BE AS FOLLOWS:
  12. ALL EXPOSED WOOD MEMBERS SHALL BE PRESERVE TREATED TO PROTECT FROM CONDENSATION.

WOOD CABINETRY

- STRUCTURAL STEEL**
1. ALL STEEL SHALL BE MANUFACTURED TO COMPLY WITH ASTM A572, GRADE 50, UNLESS OTHERWISE SPECIFIED.
  2. ALL STEEL SHALL BE MANUFACTURED TO COMPLY WITH ASTM A572, GRADE 50, UNLESS OTHERWISE SPECIFIED.
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STRUCTURAL STEEL

NIGHTLIGHT ARCHITECTS		
3154 W. DIVERSITY AVE. CHICAGO, IL 60647		
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FAX: (773) 539-8117		
GRANDPULOUS RESIDENCE		
3418 N. LAKEWOOD AVE CHICAGO, IL 60640		
STRUCTURAL NOTES		
Project	09-07	Sheet
Date	06-11-08	S-3
NOTED: SEE NOTES		

**NIGHTLIGHT ARCHITECTS**

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CHICAGO, IL 60640

STRUCTURAL NOTES

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NOTED: SEE NOTES