

# UNOFFICIAL COPY



Doc#: 1205955033 Fee: \$88.00  
Eugene "Gene" Moore  
Cook County Recorder of Deeds  
Date: 02/28/2012 01:26 PM Pg: 1 of 26

PIN 06-22-302-012-0000                      06-27-100-024-0000  
06-22-302-013-0000                      06-27-100-025-0000  
06-22-302-014-0000                      06-27-100-026-0000  
06-22-302-015-0000  
06-22-302-016-0000  
06-22-302-017-0000  
06-22-302-018-0000

Amending Document #0351639009 recorded 11/12/2003

## CERTIFICATION

I, Kittie L. Kopitke, do hereby certify that I am the duly elected Village Clerk of the Village of Streamwood, Cook County, Illinois, and the keeper of the books and records of the Village of Streamwood, and I do hereby certify that Ordinance Number 2012-6 is the true and correct copy of an Ordinance presented, passed and recorded by the President and Board of Trustees of the Village of Streamwood on the 16th day of February 2012 by a vote of 6 Ayes, 0 Nays with 0 Trustees absent.

Kittie L. Kopitke, MMC  
Village Clerk

AFTER RECORDING, PLEASE RETURN TO:  
Kittie L. Kopitke, Village Clerk  
Village of Streamwood  
301 East Irving Park Road  
Streamwood, IL 60107  
(630-736-3806)



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VILLAGE OF STREAMWOOD

ORDINANCE NO. 2012 - 6

AN ORDINANCE AMENDING ORDINANCE 2003-41  
TO AMEND THE C-3 COMMERCIAL PLANNED UNIT  
DEVELOPMENT AGREEMENT TO ALLOW FOR A DRIVE-THROUGH  
FACILITY AT AN EXISTING RESTAURANT, WITH INCREASED  
SIGNAGE FOR THE PROPERTY KNOWN AS PANERA BREAD RESTAURANT

ADOPTED BY THE BOARD OF TRUSTEES  
OF THE VILLAGE OF STREAMWOOD  
THIS 16<sup>th</sup> DAY OF FEBRUARY, 2012

Published in pamphlet form by authority of the Board of Trustees  
of the Village of Streamwood, Cook County, Illinois  
this 16<sup>th</sup> day of February, 2012

Property of Cook County Clerk's Office

# UNOFFICIAL COPY

ORDINANCE NO. 2012 - 40

**AN ORDINANCE AMENDING ORDINANCE 2003-41  
TO AMEND THE C-3 COMMERCIAL PLANNED UNIT  
DEVELOPMENT AGREEMENT TO ALLOW FOR A DRIVE-THROUGH  
FACILITY AT AN EXISTING RESTAURANT, WITH INCREASED  
SIGNAGE FOR THE PROPERTY KNOWN AS PANERA BREAD RESTAURANT**

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**WHEREAS**, Russell Whitaker d/b/a Rosanova and Whitaker, representing Panera Bread, LLC as authorized agent for Sutton Park Developers, LLC (PUD), has petitioned for a modification of Ordinance 2003-41 (Planned Unit Development Agreement (Sutton Park - The Harlem Irving Companies, Inc.)) to allow for a drive-through facility at an existing restaurant and increased signage in a C-3 PUD District.

**WHEREAS**, said petition requests the construction of a drive-through facility at the existing restaurant and a variation for a preview menuboard; and

**WHEREAS**, public notice of a hearing on said application was published in the Daily Herald of Paddock Publications, Inc. on August 29, 2011, being a paper having general circulation within the Village of Streamwood; and

**WHEREAS**, the Plan Commission met on September 20, 2011, and made the following findings of fact, which findings it declared to be true and correct:

- A. The intent of the original PUD was to construct a viable and aesthetic commercial center to service the area.
- B. The proposed amendment seems to be in keeping with the original intent, the modifications will be wholly on site and there is not direct impact on any other lots.

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C. Parking and circulation have been shifted to accommodate a one-way pattern for the dedicated drive-through lane and adequate queuing have been provided and, therefore, the proposed changes should not have any impact on traffic, parking or circulation.

D. The petitioner is requesting a variation for a preview board, in addition to the allowed menuboard, which they contend will improve circulation within the drive-through. The Plan Commission agrees the preview board may facilitate circulation, but should be restricted to the 22 square feet proposed.

**WHEREAS**, the Plan Commission has forwarded its favorable recommendations to the Village Board of Trustees approving the amendment to the C-3 Commercial Planned Unit Development to allow for a drive-through facility at an existing restaurant and increased signage subject to the following conditions:

1. Landscaping plans be amended to list species and sizes to ensure adequate screening;
2. Modify landscape plans to provide islands, where feasible, where striped "no parking" areas are indicated; and;
3. All items listed in the memorandum from Public Works Director Matt Mann dated September 12, 2011.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Streamwood, Cook County, Illinois as follows:

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**SECTION ONE:** That the corporate authorities hereby incorporate the foregoing preamble clauses into this ordinance and make the findings as hereinabove set forth.

**SECTION TWO:** That Ordinance 2003-41 is amended as it applies to a change to allow for a drive-through facility at an existing restaurant and increased signage in a C-3 PUD District subject to and in substantial conformity with the "First Amendment to Planned Unit Development Agreement" attached hereto and made a part hereof as Exhibit "A."

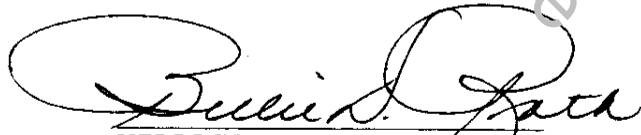
**SECTION THREE:** That all ordinances and resolutions or parts thereof in conflict with the provisions of this ordinance are, to the extent of such conflict, expressly repealed.

**SECTION FOUR:** That this ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.


ROLL CALL VOTE:	AYES	<u>0</u>
	NAYS	<u>0</u>
	ABSTENTIONS	<u>0</u>
	ABSENT	<u>0</u>

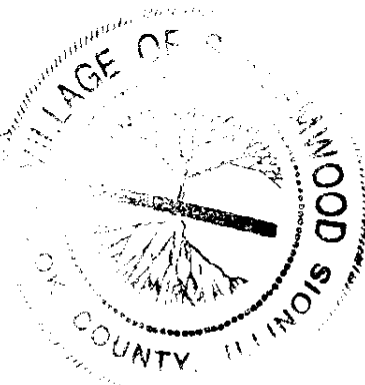
PASSED AND APPROVED this 16<sup>th</sup> day of February, 2012.

APPROVED:

  
VILLAGE PRESIDENT

ATTEST:

  
VILLAGE CLERK



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## FIRST AMENDMENT TO PLANNED DEVELOPMENT AGREEMENT

This Amendment to that Planned Development Agreement (hereinafter referred to as the “**Agreement**”) made and entered into on the 31<sup>st</sup> day of July, 2003, by and between the VILLAGE OF STREAMWOOD, a municipal corporation of the County of Cook, State of Illinois (hereinafter referred to as “**Village**”) by and through the President and Board of Trustees of the Village (hereinafter collectively referred to as the “**Corporate Authorities**”) and Sutton Park Developers, LLC, as developers of record of the subject property (hereinafter referred to as the “**Developer**”), is made and entered into this 16<sup>th</sup> day of February, 2012.

### WITNESSETH:

WHEREAS, the Property is subject to a Planned Development authorized by the Village and the Corporate Authorities on July 31, 2003 through Ordinances 2003-40 and 2003-41 (the “**Ordinance**”); and

WHEREAS, the Village of Streamwood has established a C-3 zoning classification with a special use as a commercial Planned Development for the Property pursuant to a Planned Development Agreement dated July 31, 2003, by and between the Village and the Developer (the “**Planned Development**”); and

WHEREAS, Developer desires and proposes to amend said Planned Development to allow a restaurant drive-in as a special use on Lot 8 of the Planned Development and to permit a variation from Section 11-10-3-2(F) of the Village of Streamwood Municipal Code to permit a preview board accessory to the permitted menu board; and

WHEREAS, this Agreement was submitted to the Corporate Authorities and a public hearing was held thereon pursuant to notice as provided by ordinance; and

WHEREAS, pursuant to due notice and advertisement, the Plan Commission of the Village held a public hearing on September 20, 2011 and made their recommendations with respect to the amendment of the Planned Development; and

WHEREAS, the Corporate Authorities of the Village after due and careful consideration have concluded that the zoning and development of the Property consistent with the terms and conditions herein set forth would further enable the Village to control the development of the area and would serve the best interests of the Village.

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NOW, THEREFORE, in consideration of the premises, mutual covenants and agreements herein set forth, the parties hereto agree as follows:

1. Recitals. The above recitals are hereby incorporated into and made a part of the Agreement.

2. Compliance with the Agreement. Except as amended herein, all remaining provisions of the Agreement and the Ordinances shall apply and remain in full force and effect.

3. Approval of Uses. The Corporate Authorities hereby approve the following uses of the Property within the C-3 Commercial District:

- a. Restaurant drive-in on Lot 8
- b. A preview board accessory, not to exceed twenty-two (22) square feet in size, to the permitted menu board

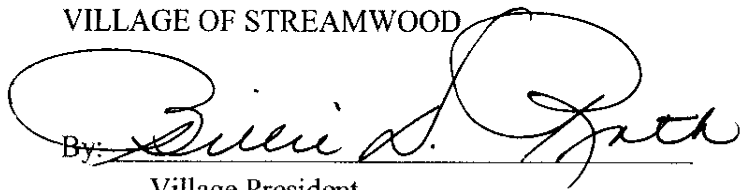
4. Prohibited Uses. Except as permitted and authorized by this First Amendment to Planned Development Agreement, the Corporate Authorities hereby continue to prohibit those uses of the Property as provided in that Planned Development Agreement dated July 31, 2003.

5. Exhibits: The following Exhibits, some of which were presented in testimony given by the Developer or the witnesses during the hearings held before the Plan Commission and the Corporate Authorities prior to the execution of this Agreement, are hereby incorporated by reference herein, made a part hereof and designated as shown below. This Agreement, upon execution by the parties, together with copies of all Exhibits, shall be kept on file with the Village Clerk and be available for inspection to the parties hereto.

EXHIBIT A	Legal Description of the Property
EXHIBIT B	Landscape Plan
EXHIBIT C	Engineering Plans
EXHIBIT D	Site Plan
EXHIBIT E	Elevations/Sign Plan

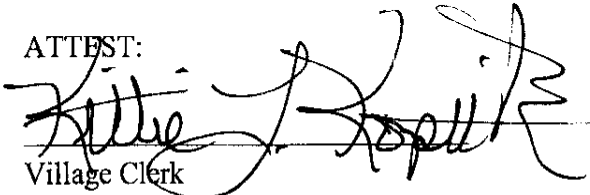
IN WITNESS WHEREOF, the parties hereto have entered into this Amendment the date and year first above written.

VILLAGE OF STREAMWOOD

By:   
Village President

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ATTEST:

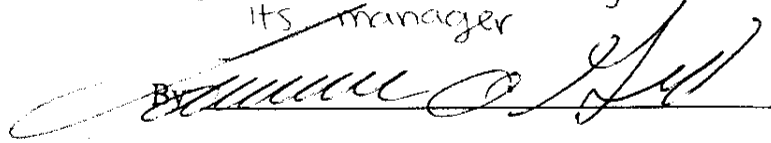
  
Village Clerk



DEVELOPERS:

SUTTON PARK DEVELOPERS, L.L.C.

By: The Harlem Irving Companies, Inc.,  
its manager



Print Name: Lawrence A. Gerlach

Title: Vice President

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

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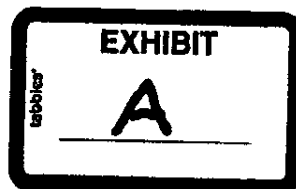


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## LEGAL DESCRIPTION

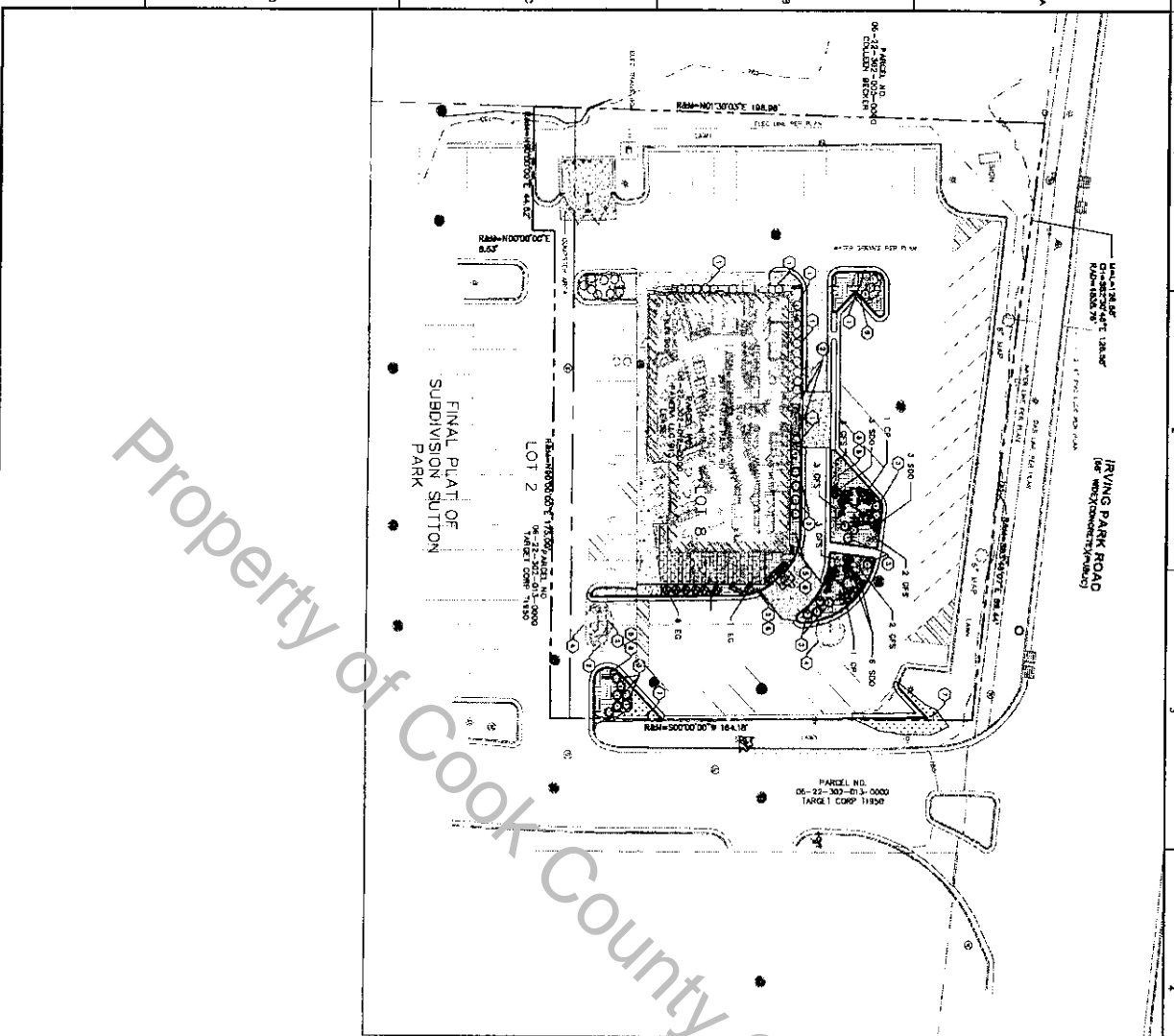
Lot 8 in the Sutton Park Subdivision, being a subdivision of part of the Southwest  $\frac{1}{4}$  of Section 22, and part of the Northwest of Section 27, Township 41 North, Range 9 East of the Third Principal Meridian, as shown on the plat thereof recorded November 12, 2003 as Document #0331639008, all in Cook County Illinois.

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For Sale/For Rent/For Lease/For Use/For Occupancy/For Construction/For Other



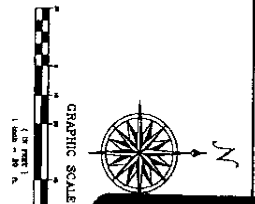
Property of Cook County Clerk's Office

SYMBOL	QTY	QUANTITY	DESCRIPTION	REMARKS
1	13	13	GRASS (Sodded)	13' x 13' x 13'
2	7	7	FLORAL (Sodded)	7' x 7' x 7'
3	13	13	FLORAL (Sodded)	13' x 13' x 13'
4	3	3	GRASS (Sodded)	3' x 3' x 3'

SYMBOL	QTY	QUANTITY	DESCRIPTION	REMARKS
5	1	1	RELOCATED SIGNAGE	1' x 1' x 1'
6	1	1	RELOCATED SIGNAGE	1' x 1' x 1'
7	1	1	RELOCATED SIGNAGE	1' x 1' x 1'
8	1	1	RELOCATED SIGNAGE	1' x 1' x 1'
9	1	1	RELOCATED SIGNAGE	1' x 1' x 1'
10	1	1	RELOCATED SIGNAGE	1' x 1' x 1'

- LANDSCAPE NOTES**
- EXISTING LANDSCAPE SHALL BE MAINTAINED AND PROTECTED.
  - RELOCATED SIGNAGE SHALL BE MAINTAINED AND PROTECTED.
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- NOTES**
- EXISTING SIGNAGE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
  - RELOCATED SIGNAGE TO NEW LOCATION.
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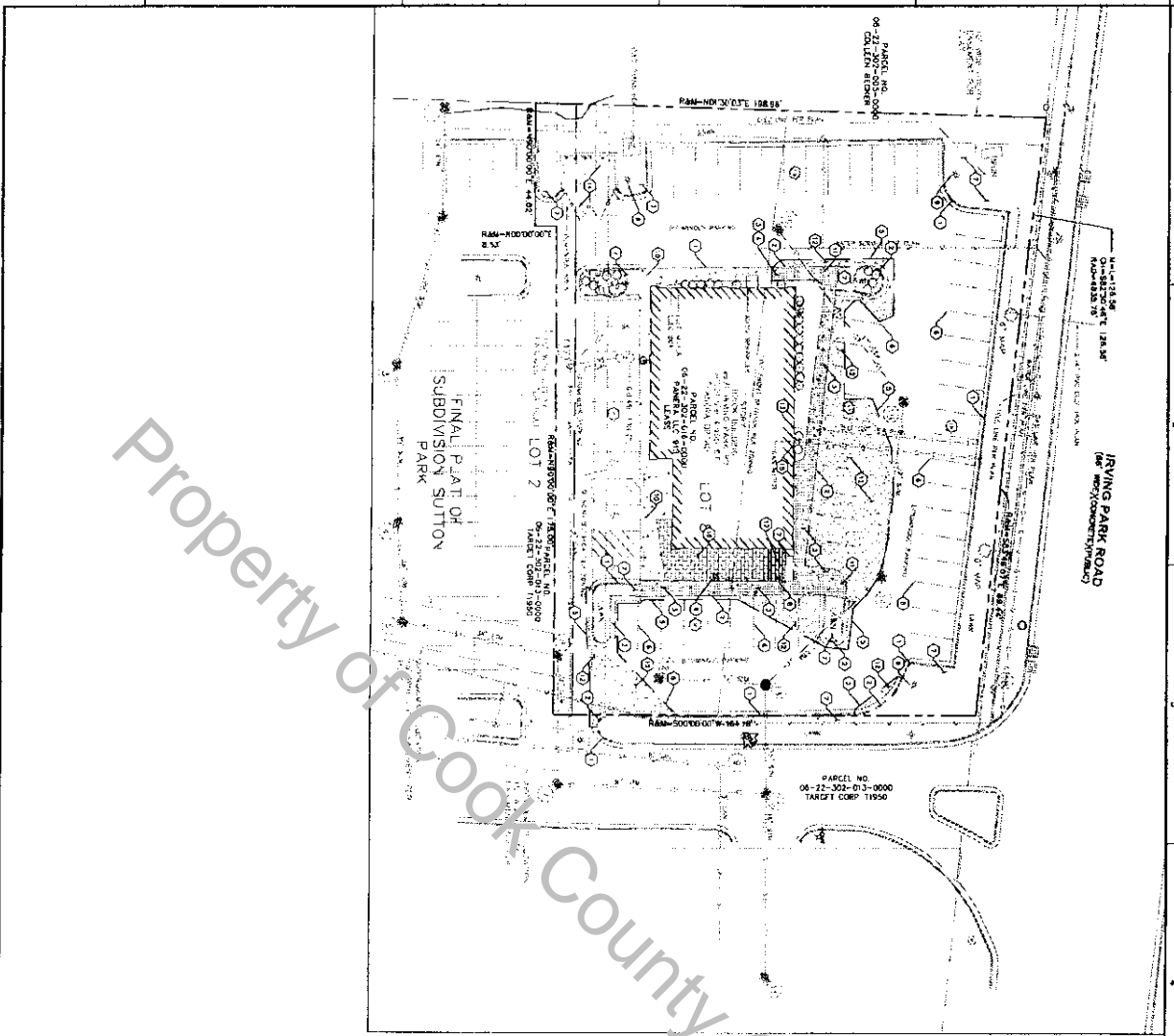
**EXHIBIT**  
**B**



THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

<p>Drawings prepared by: <b>CORE STATES</b></p> <p>Scale: 1"=20'</p> <p>Date: 01-10-11</p> <p>Drawn By: MAB</p> <p>Checked By: PTB</p>	<p>Job#: ARC-11854</p> <p>Scale: 1"=20'</p> <p>Date: 01-10-11</p> <p>Drawn By: MAB</p> <p>Checked By: PTB</p>	<p><b>Panera</b></p> <p><b>BREAD</b></p>	<p>Panera, LLC 1600 South Brentwood Boulevard, St. Louis, MO 63144</p> <p>Cafe # 913 Drive-Thru Addition 971 W. Irving Park Road, St. Louis, MO 63107</p> <p>Landscaping Plan</p>	<p>7 OF 7</p>
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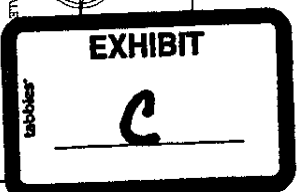
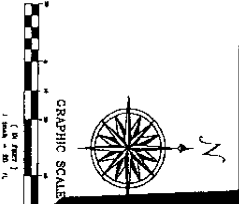


THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE DESIGNATION AND/OR LOCATION OF ENGINE UTILITIES AS SHOWN ON THIS PLAN IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION TO AVOID DAMAGE TO UTILITIES.

**NOTES:**  
 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES, AGENCIES, ETC. AND THE CITY OF CHICAGO PRIOR TO COMMENCING CONSTRUCTION.  
 2. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.  
 4. CONTRACTOR SHALL MAINTAIN ALL RECORDS OF THE PROJECT AND SUBMIT THEM TO THE CITY OF CHICAGO UPON COMPLETION OF THE PROJECT.

DEMOLITION LEGEND	
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE SIDEWALK
	EXISTING BRICK PAVERS

- RECORD NOTES**
- EXISTING CURB TO REMAIN.
  - EXISTING CONCRET TO BE REMOVED.
  - NEW ASPHALT PAVEMENT TO BE DEMOLISHED AND REPAVED TO EXISTING FINISH.
  - EXISTING ASPHALT PAVEMENT TO BE DEMOLISHED AND REPAVED TO EXISTING FINISH.
  - EXISTING CONCRETE SIDEWALK TO BE DEMOLISHED AND REPAVED TO EXISTING FINISH.
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  - EXISTING CONCRETE SIDEWALK TO BE DEMOLISHED AND REPAVED TO EXISTING FINISH.
  - EXISTING BRICK PAVEMENT TO BE DEMOLISHED AND REPAVED TO EXISTING FINISH.



C-1  
1 OF 7

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**CORE STATES**  
 GROUP  
 1205955033  
 Project No. 001101  
 Date: 01-10-17  
 Drawn By: MAB  
 Checked By: P1B

**Panera BREAD**

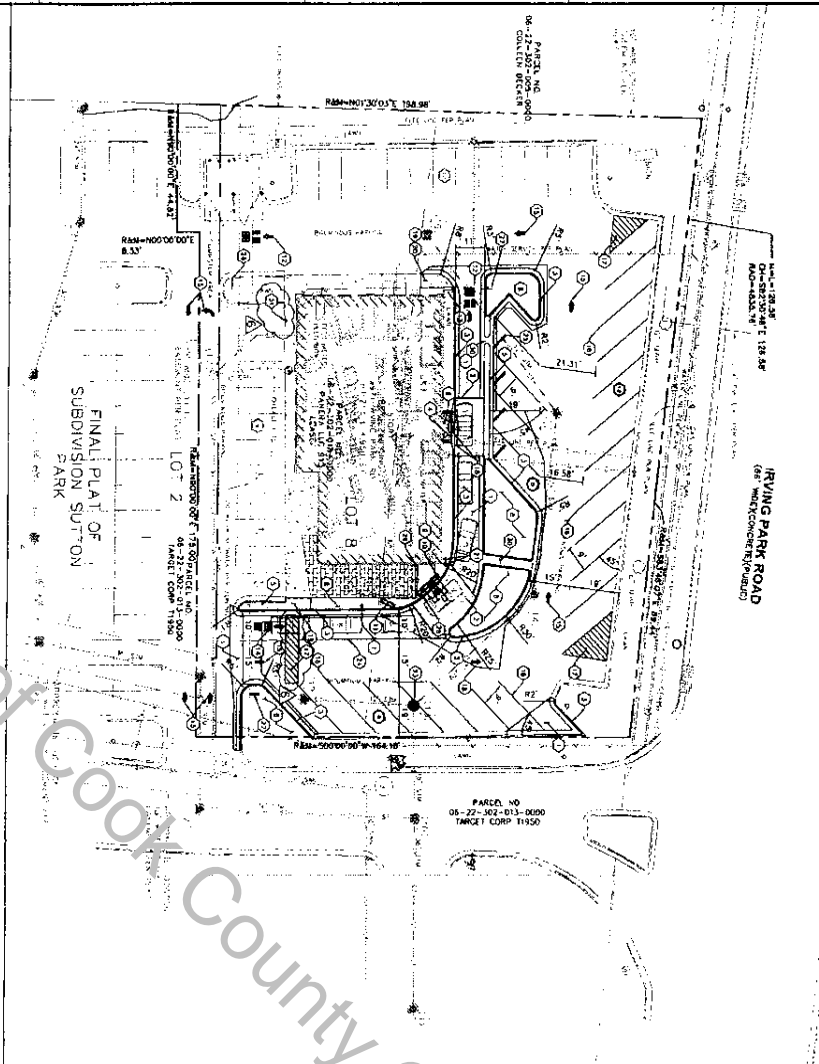
**Panera, LLC**  
 1600 South Brentwood Boulevard, St. Louis, MO 63144  
 Cafe # 913  
 Drive-Thru Addition  
 971 W Irving Park Road, Streamwood, Illinois 60107  
**Demolition Plan**

NO.	DATE	DESCRIPTION
01/10/17	01/10/17	FOR SET
01/10/17	01/10/17	FOR SET
01/10/17	01/10/17	FOR SET

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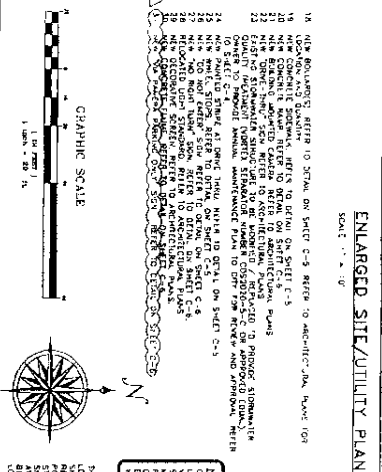
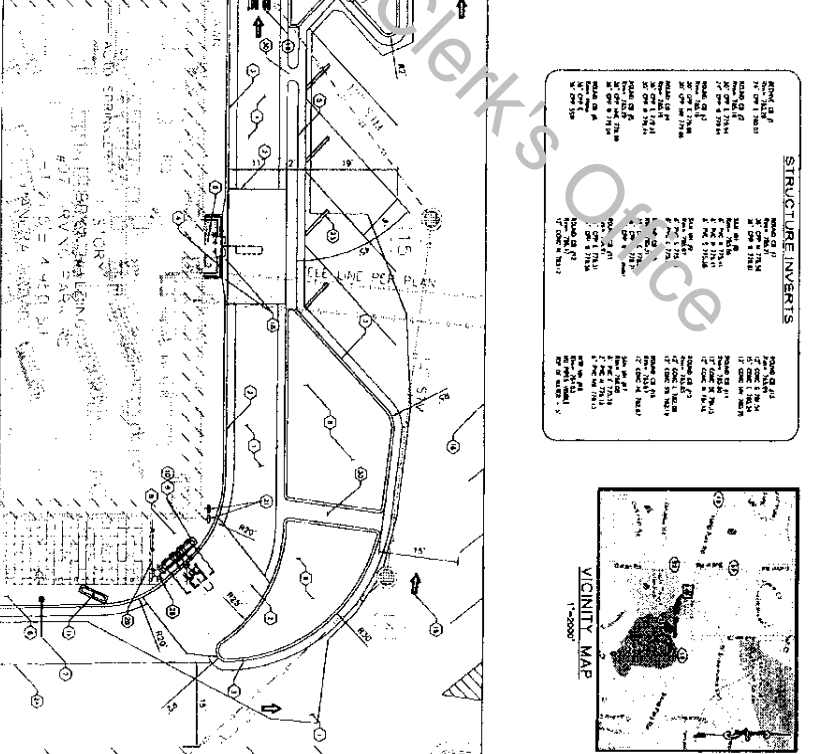
**GENERAL NOTES**

1. THIS PLAN IS BASED ON RECORDS PROVIDED BY CONTRACTOR AND SURVEY STIPULATED DATE 12/17/19. OWNER TO VERIFY ALL INFORMATION. THE CONTRACTOR SHALL VERIFY THAT THE LAYOUT, ELEVATION, AND DIMENSIONS OF THE PROPERTY SHOWN ON THIS PLAN CORRECTLY REPRESENT THE PROPERTY AS SHOWN ON THE RECORDS AND AS SHOWN BY THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE.
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6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECORDS AND THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE.
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**SITE NOTES**

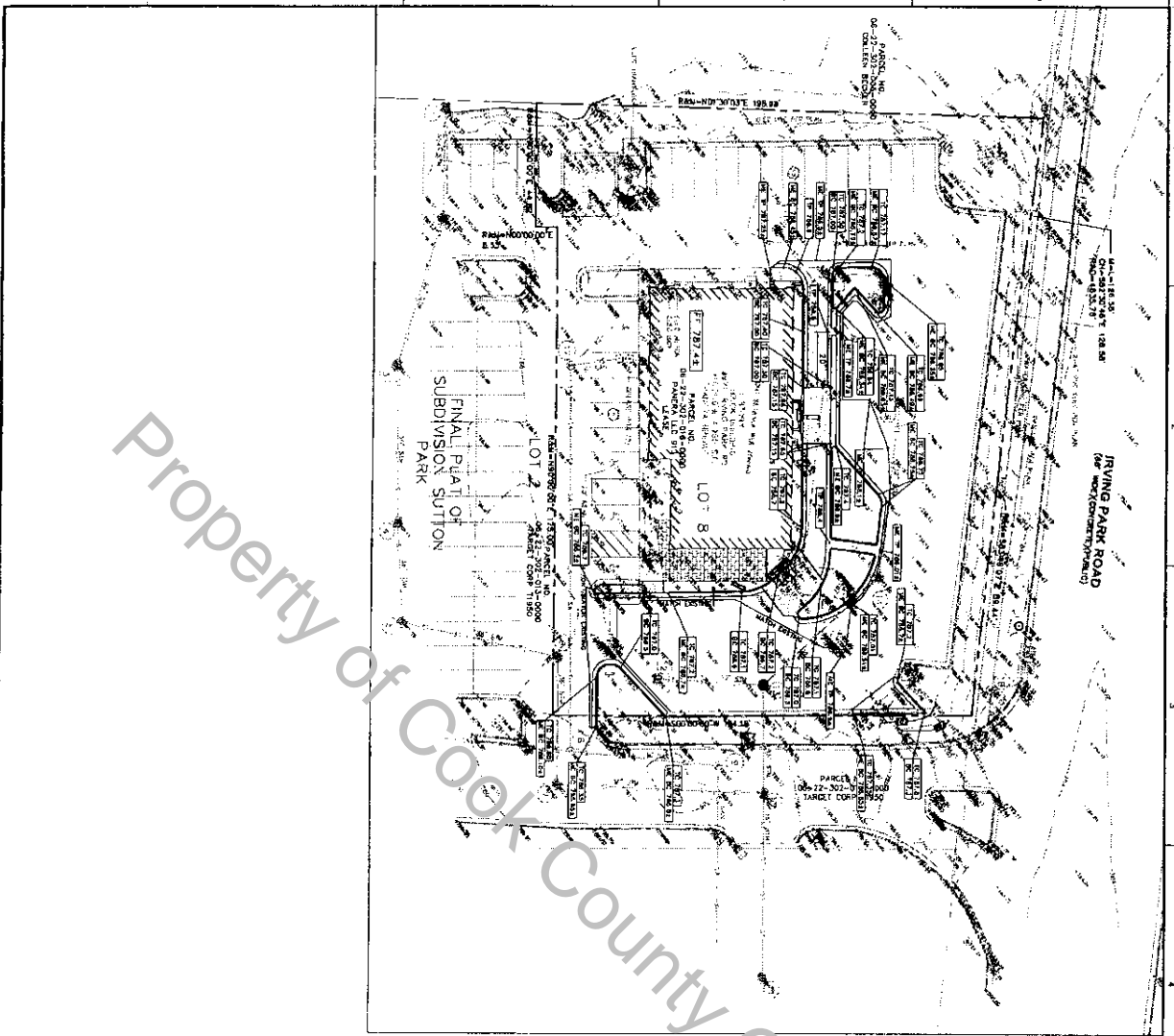
1. REFER TO SHEET C-1 FOR ADDITIONAL INFORMATION.
2. REFER TO SHEET C-2 FOR ADDITIONAL INFORMATION.
3. REFER TO SHEET C-3 FOR ADDITIONAL INFORMATION.
4. REFER TO SHEET C-4 FOR ADDITIONAL INFORMATION.
5. REFER TO SHEET C-5 FOR ADDITIONAL INFORMATION.
6. REFER TO SHEET C-6 FOR ADDITIONAL INFORMATION.
7. REFER TO SHEET C-7 FOR ADDITIONAL INFORMATION.
8. REFER TO SHEET C-8 FOR ADDITIONAL INFORMATION.
9. REFER TO SHEET C-9 FOR ADDITIONAL INFORMATION.
10. REFER TO SHEET C-10 FOR ADDITIONAL INFORMATION.
11. REFER TO SHEET C-11 FOR ADDITIONAL INFORMATION.
12. REFER TO SHEET C-12 FOR ADDITIONAL INFORMATION.
13. REFER TO SHEET C-13 FOR ADDITIONAL INFORMATION.
14. REFER TO SHEET C-14 FOR ADDITIONAL INFORMATION.
15. REFER TO SHEET C-15 FOR ADDITIONAL INFORMATION.
16. REFER TO SHEET C-16 FOR ADDITIONAL INFORMATION.
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18. REFER TO SHEET C-18 FOR ADDITIONAL INFORMATION.
19. REFER TO SHEET C-19 FOR ADDITIONAL INFORMATION.
20. REFER TO SHEET C-20 FOR ADDITIONAL INFORMATION.
21. REFER TO SHEET C-21 FOR ADDITIONAL INFORMATION.
22. REFER TO SHEET C-22 FOR ADDITIONAL INFORMATION.
23. REFER TO SHEET C-23 FOR ADDITIONAL INFORMATION.
24. REFER TO SHEET C-24 FOR ADDITIONAL INFORMATION.
25. REFER TO SHEET C-25 FOR ADDITIONAL INFORMATION.
26. REFER TO SHEET C-26 FOR ADDITIONAL INFORMATION.
27. REFER TO SHEET C-27 FOR ADDITIONAL INFORMATION.
28. REFER TO SHEET C-28 FOR ADDITIONAL INFORMATION.
29. REFER TO SHEET C-29 FOR ADDITIONAL INFORMATION.
30. REFER TO SHEET C-30 FOR ADDITIONAL INFORMATION.



**NOTE:** CONSTRUCTION SHALL BE ACCORDANCE WITH THE RECORDS AND THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS AND THE SURVEY STIPULATED DATE.

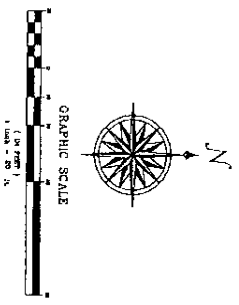
<p><b>CORE STATES</b></p> <p>Job# ARC-11824</p> <p>Scale: 1"=20'</p> <p>Date: 01-10-19</p> <p>Drawn By: MAB</p> <p>Checked By: PTF</p>	<p><b>Panera, LLC</b></p> <p>1500 South Brentwood Boulevard, St. Louis, MO 63144</p> <p><b>Cafe # 913</b></p> <p>Drive-Thru Addition</p> <p>571 W. Irving Park Road, Streamwood, Illinois 60107</p> <p><b>Site and Utility Plan</b></p>	<table border="1"> <thead> <tr> <th>Rev. #</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>02</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>03</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>04</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>05</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>06</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>07</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>08</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>09</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>10</td> <td>01/10/19</td> <td>ISSUED FOR PERMIT</td> </tr> </tbody> </table>	Rev. #	Date	Description	01	01/10/19	ISSUED FOR PERMIT	02	01/10/19	ISSUED FOR PERMIT	03	01/10/19	ISSUED FOR PERMIT	04	01/10/19	ISSUED FOR PERMIT	05	01/10/19	ISSUED FOR PERMIT	06	01/10/19	ISSUED FOR PERMIT	07	01/10/19	ISSUED FOR PERMIT	08	01/10/19	ISSUED FOR PERMIT	09	01/10/19	ISSUED FOR PERMIT	10	01/10/19	ISSUED FOR PERMIT
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Property of Cook County Clerk's Office

- GENERAL NOTES**
1. REFER TO SHEET C-3 FOR DIMENSIONS AND DESCRIPTION OF PROPOSED IMPROVEMENTS.
  2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- ABBREVIATIONS**
- BC - BOTTOM OF CURB
  - DE - EXISTING DRIVE
  - EX - EXISTING
  - HP - HIGH POINT
  - LP - LOW POINT
  - TOP OF CURB
  - TOP OF FINISH



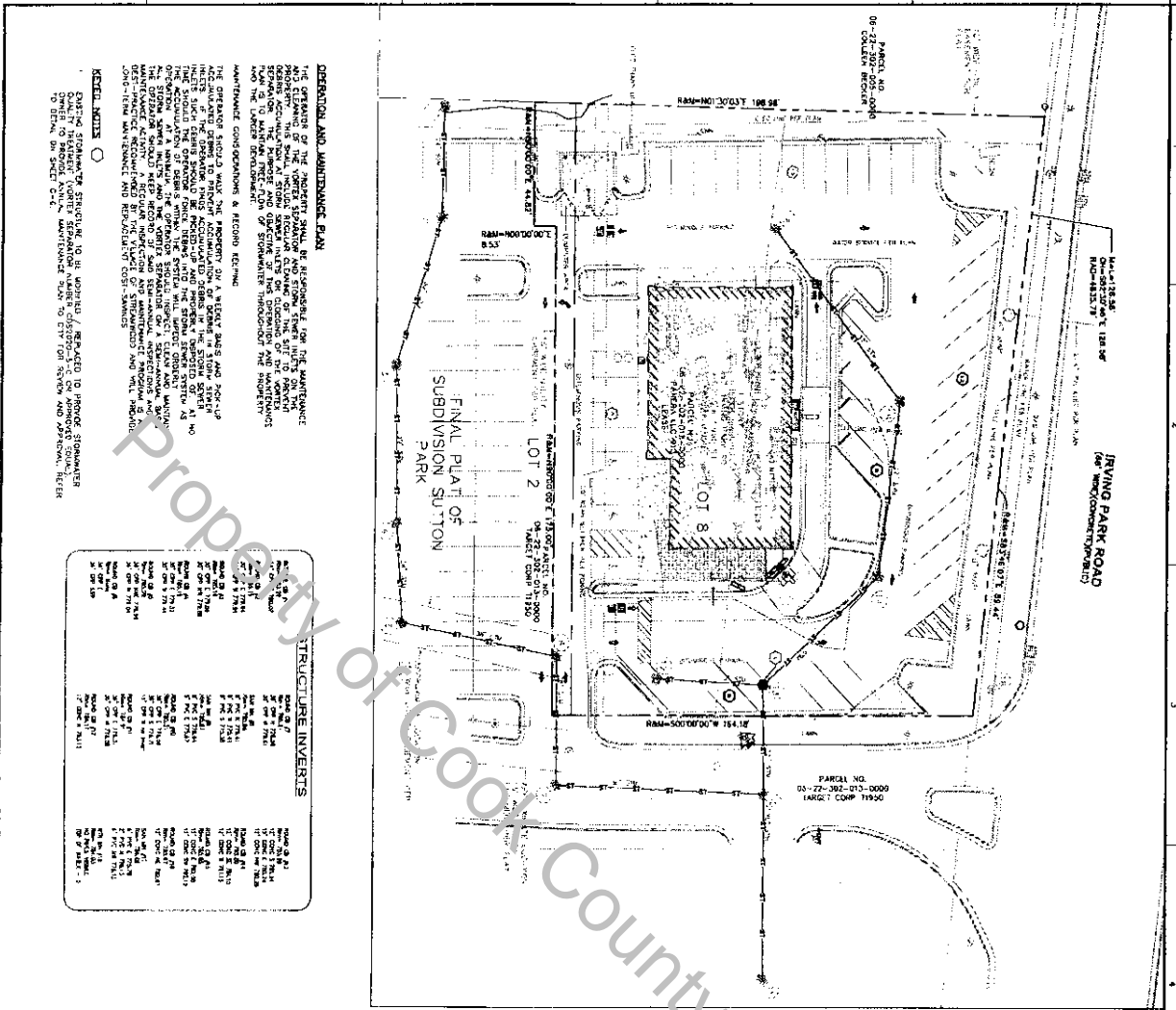
DESCRIPTION	EXISTING	PROPOSED
ASPHALT PAVEMENT (STANDARD 50'x75')		
GRAVEL (TYPE 1)		
GRAVEL (TYPE 2)		
GRAVEL (TYPE 3)		
GRAVEL (TYPE 4)		
GRAVEL (TYPE 5)		
GRAVEL (TYPE 6)		
GRAVEL (TYPE 7)		
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GRAVEL (TYPE 100)		



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<p>2 OF 7</p>	<p>C-3</p>	<p>Documentation provided by Core States, Inc. including this document. The user shall verify the accuracy of the information provided. Any use of the information provided is at the user's own risk. Core States, Inc. is not responsible for any errors or omissions in this document. Core States, Inc. is not responsible for any damages, including consequential damages, arising from the use of this document. Core States, Inc. is not responsible for any claims, including consequential claims, arising from the use of this document. Core States, Inc. is not responsible for any claims, including consequential claims, arising from the use of this document.</p>	<p>Job#: ARC-11854 Scale: 1"=20' Date: 01-10-11 Drawn By: MAB Checked By: PTB</p>	<p><b>CORE STATES</b> GROUP</p>	<p><b>Panera</b> BREAD</p>	<p>Panera, LLC 1600 South Brentwood Boulevard, St. Louis, MO 63144 Cafe # 913 Drive-Thru Addition 977 W Irving Park Road, Streamwood, Illinois 60107 Grading Plan</p>	<table border="1"> <thead> <tr> <th>Rev. #</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>2</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>3</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>4</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>5</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>6</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>7</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>8</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>9</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> <tr> <td>10</td> <td>01/10/11</td> <td>Issue for Review</td> </tr> </tbody> </table>	Rev. #	Date	Description	1	01/10/11	Issue for Review	2	01/10/11	Issue for Review	3	01/10/11	Issue for Review	4	01/10/11	Issue for Review	5	01/10/11	Issue for Review	6	01/10/11	Issue for Review	7	01/10/11	Issue for Review	8	01/10/11	Issue for Review	9	01/10/11	Issue for Review	10	01/10/11	Issue for Review
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**OPERATION AND MAINTENANCE PLAN**

The operation of the project shall be responsible for the maintenance of the project and the project shall be responsible for the maintenance of the project. The project shall be responsible for the maintenance of the project. The project shall be responsible for the maintenance of the project.

**GENERAL NOTES**

1. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AND THE PROJECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.

2. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AND THE PROJECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.

**STRUCTURE INVERTS**

NO.	DESCRIPTION	DEPTH	DATE
1	MANHOLE	4.00	01-10-11
2	MANHOLE	4.00	01-10-11
3	MANHOLE	4.00	01-10-11
4	MANHOLE	4.00	01-10-11
5	MANHOLE	4.00	01-10-11
6	MANHOLE	4.00	01-10-11
7	MANHOLE	4.00	01-10-11
8	MANHOLE	4.00	01-10-11
9	MANHOLE	4.00	01-10-11
10	MANHOLE	4.00	01-10-11

**7 BEFORE YOU DIG**

Call Before You Dig  
One-Call System  
800-4-A-DIG

**LEGEND**

PROPERTY LINE	EXISTING	PROPOSED
TOPOGRAPHY - ELEVATION		
STORM SEWER - EXISTING		
STORM SEWER - PROPOSED		
STORM SEWER - EXISTING (DITCH)		
STORM SEWER - EXISTING (DITCH)		

**DATE REVISIONS**

NO.	DATE	DESCRIPTION
1	01-10-11	ISSUE FOR PERMIT
2	01-10-11	REVISIONS

**NOTES**

1. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT AND THE PROJECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.

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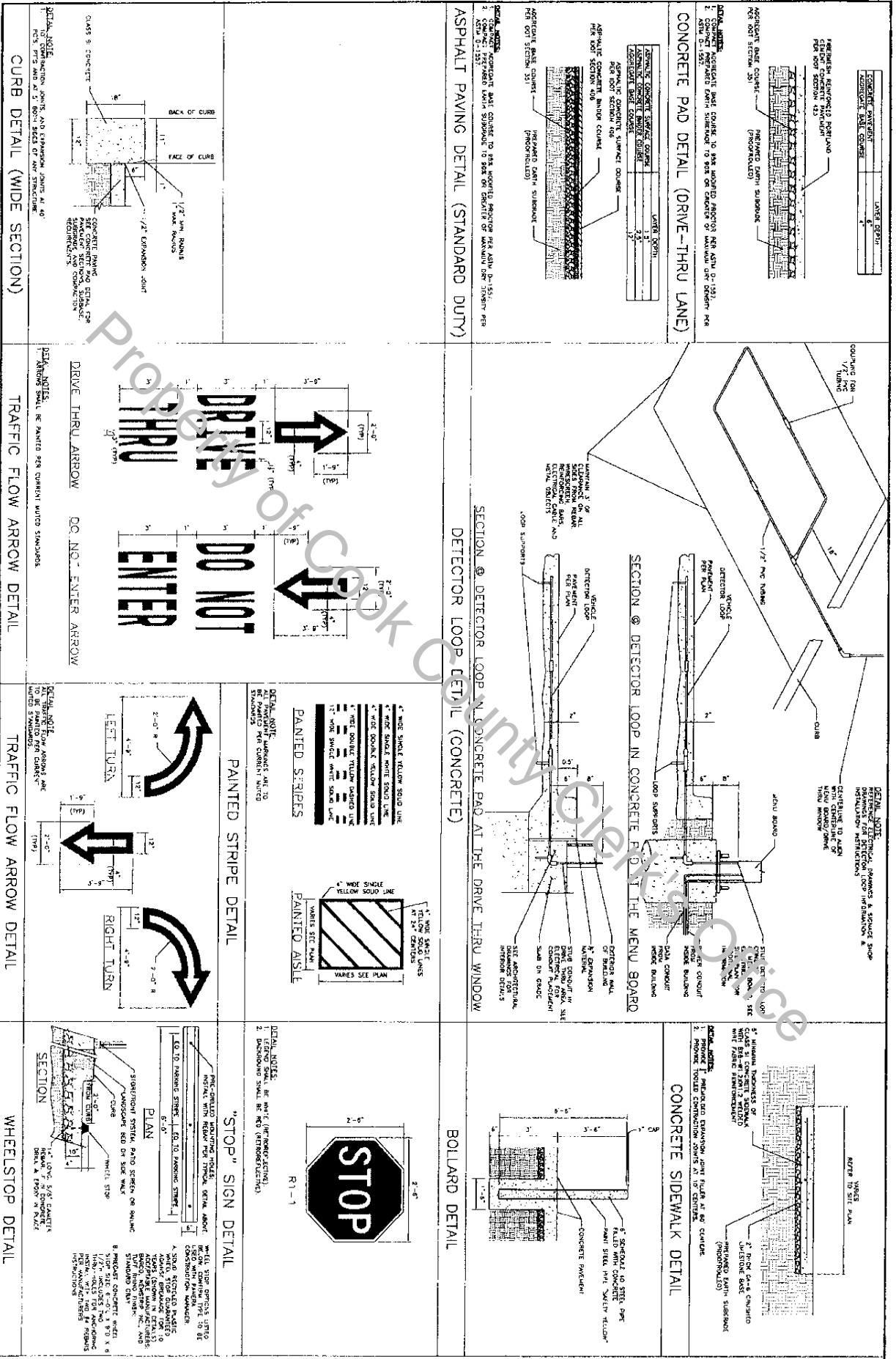
**Job#** ARC-11654  
**Scale** 1"=20'  
**Date** 01-10-11  
**Drawn By** MAB  
**Checked By** PTB

**CORE STATES GROUP**

**Panera, LLC**  
1600 South Brentwood Boulevard, St. Louis, MD 63144  
**Cafe # 913**  
Drive-Thru Addition  
971 W. Irving Park Road, Streamwood, Illinois 60107  
**Operation and Maintenance Plan**

Rev #	Date	Description
1	01-10-11	ISSUE FOR PERMIT
2	01-10-11	REVISIONS

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<p>Job#: ARC-11854</p> <p>Scale: NTS</p> <p>Date: 01-10-11</p> <p>Drawn By: MAB</p> <p>Checked By: PFB</p>	<p><b>CORE STATES</b></p> <p>GROUP</p>	<p><b>Panera, LLC</b></p> <p>1800 South Brentwood Boulevard, St. Louis, MO 63144</p> <p><b>Cafe # 913</b></p> <p>Drive-Thru Addition</p> <p>971 W. Irving Park Road, Streamwood, Illinois 60107</p> <p style="text-align: center;"><b>Detail Sheet</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. #</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>2</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>3</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>4</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>5</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>6</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>7</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>8</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>9</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> <tr> <td>10</td> <td>01/10/11</td> <td>Issue for construction</td> </tr> </tbody> </table>	Rev. #	Date	Description	1	01/10/11	Issue for construction	2	01/10/11	Issue for construction	3	01/10/11	Issue for construction	4	01/10/11	Issue for construction	5	01/10/11	Issue for construction	6	01/10/11	Issue for construction	7	01/10/11	Issue for construction	8	01/10/11	Issue for construction	9	01/10/11	Issue for construction	10	01/10/11	Issue for construction
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**CDS2020-S-C DESIGN NOTES**

CDS2020-S-C RATED TREATMENT CAPACITY IS 1.1 CFS (31.3 L/Min) PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 14.0 CFS (398 L/Min). IF THE SITE CONDITIONS EXCEED 14.0 CFS (398 L/Min), AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

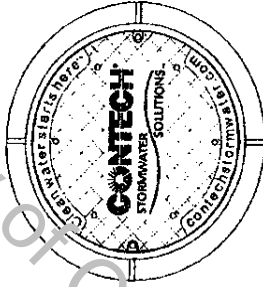
THE STANDARD CDS2020-S-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

- GRADED INLET ONLY (NO INLET PIPE)
- GRADED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES
- SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
- SEDIMENT WEIR FOR NUDEP / NUGAT CONFO WITH UNITS

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	
WATER QUALITY FLOW RATE (CFS OR L/Min)	
PEAK FLOW RATE (CFS OR L/Min)	
RETURN PERIOD OF PEAK FLOW (YRS)	
SCREEN APERTURE (200" OR 4750)	
PIPE DATA:	
INLET PIPE 1	I.E. MATERIAL DIAMETER
INLET PIPE 2	
OUTLET PIPE	
RIM ELEVATION	
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	
* PER ENGINEER OF RECORD	



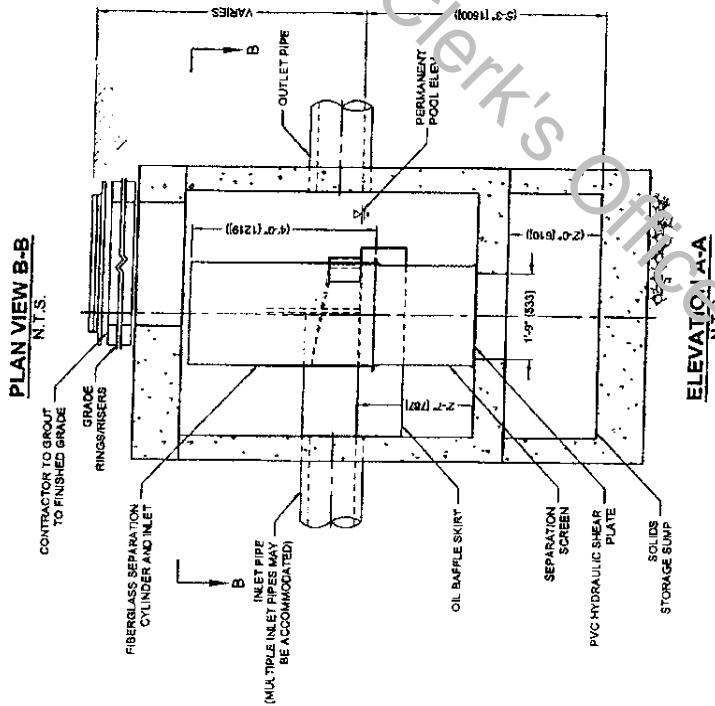
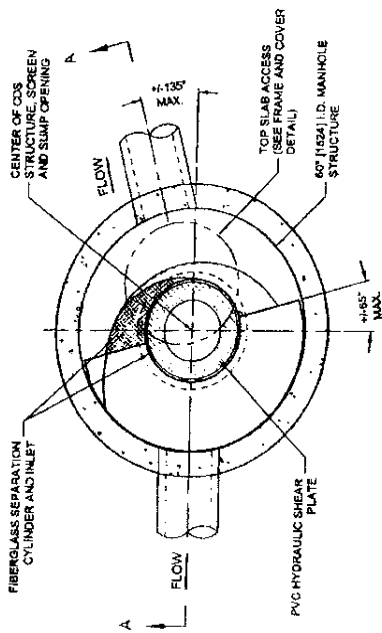
**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

**GENERAL NOTES**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND HEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: [www.contech-usa.com](http://www.contech-usa.com)
- STRUCTURE QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- ALL STRUCTURES SHALL MEET AND CASTINGS SHALL MEET AASHTO M 306 LOAD RATING, ASSIGNING GROUNDWATER ELEVATION AT, OR BELOW, THE DETAIL PIPE AND CASTING. THE INSTALLATION ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELL AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

**INSTALLATION NOTES**

- BY ENGINEER TO USE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH ALL JOINTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM 17" IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS2020-S-C  
INLINE CDS  
STANDARD DETAIL

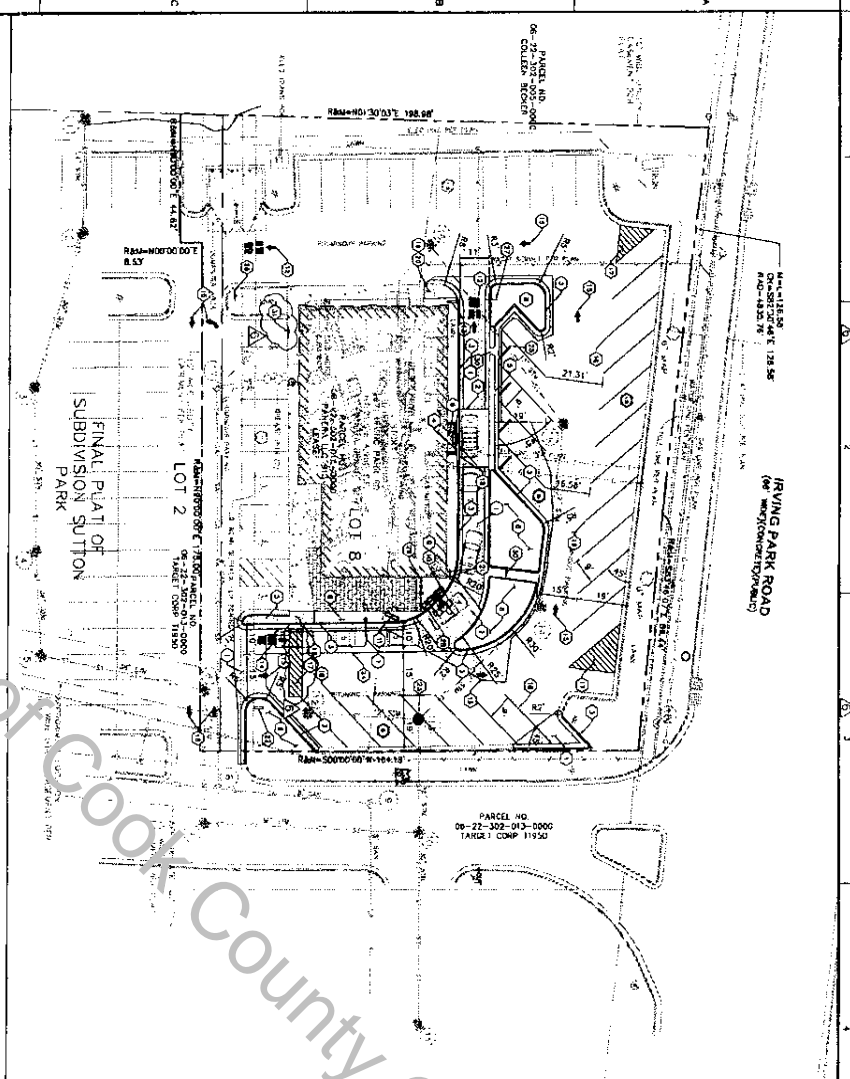


9025 Centre Pointe Dr., Suite 100, West Chester, OH 45386  
603-338-1122 613-645-7200 315-465-7267 FAX



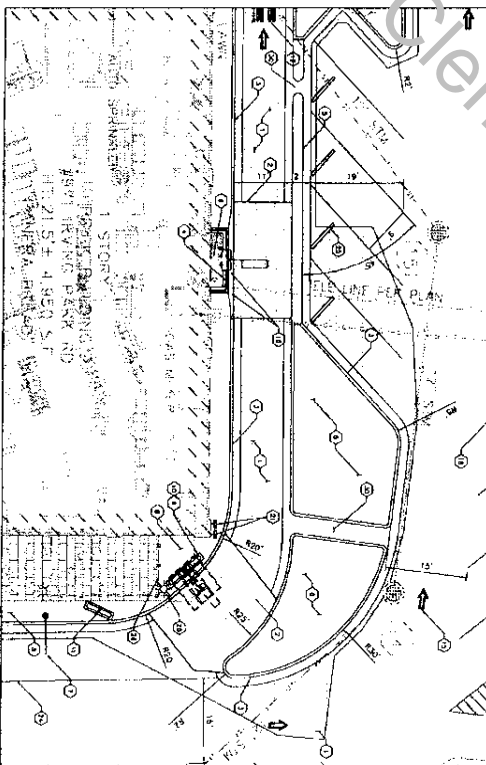
CONSTRUCTION PRODUCTS INC.

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**SITE / UTILITY PLAN:**  
SCALE: 1" = 20'

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ST. LOUIS AND THE MISSOURI DEPARTMENT OF TRANSPORTATION.
  2. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
  4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS CODES AND ORDINANCES.
  5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.



**ENLARGED SITE UTILITY PLAN:**  
SCALE: 1" = 10'

- STRUCTURE INVERTS:**
- | Structure # | Structure Name | Invert Elevation |
|-------------|----------------|------------------|
| 1           | Manhole        | 100.00           |
| 2           | Manhole        | 100.00           |
| 3           | Manhole        | 100.00           |
| 4           | Manhole        | 100.00           |
| 5           | Manhole        | 100.00           |
| 6           | Manhole        | 100.00           |
| 7           | Manhole        | 100.00           |
| 8           | Manhole        | 100.00           |
| 9           | Manhole        | 100.00           |
| 10          | Manhole        | 100.00           |
| 11          | Manhole        | 100.00           |
| 12          | Manhole        | 100.00           |
| 13          | Manhole        | 100.00           |
| 14          | Manhole        | 100.00           |
| 15          | Manhole        | 100.00           |
| 16          | Manhole        | 100.00           |
| 17          | Manhole        | 100.00           |
| 18          | Manhole        | 100.00           |
| 19          | Manhole        | 100.00           |
| 20          | Manhole        | 100.00           |
| 21          | Manhole        | 100.00           |
| 22          | Manhole        | 100.00           |
| 23          | Manhole        | 100.00           |
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| 25          | Manhole        | 100.00           |
| 26          | Manhole        | 100.00           |
| 27          | Manhole        | 100.00           |
| 28          | Manhole        | 100.00           |
| 29          | Manhole        | 100.00           |
| 30          | Manhole        | 100.00           |

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**GRAPHIC SCALE:** 1 inch = 10 feet

**COMPILED BY:** [Signature]

**DATE:** 01-10-11

**SCALE:** 1" = 10'

**GRAPHIC SCALE:** 1 inch = 10 feet

**GRAPHIC SCALE:** 1 inch = 10 feet

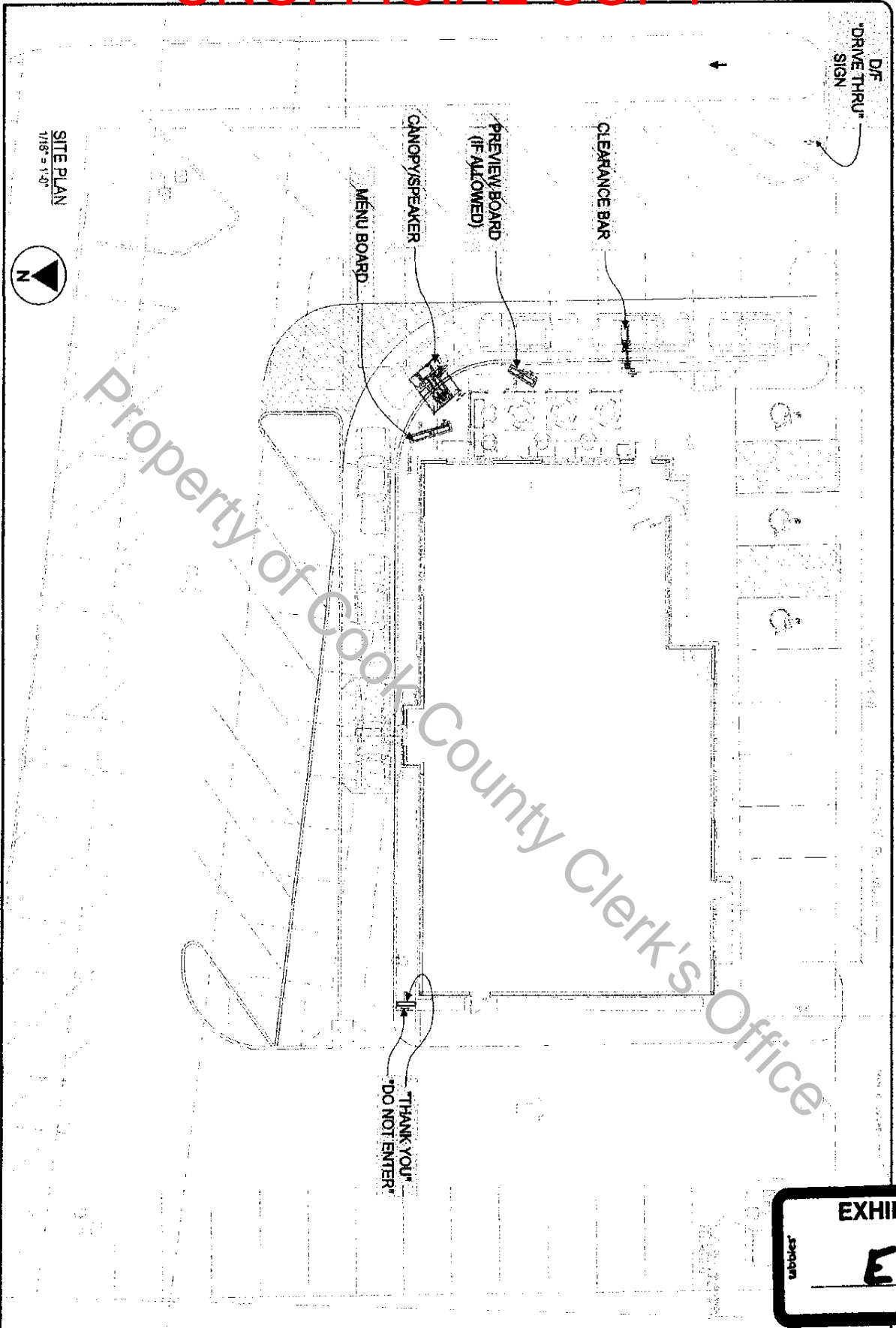
**STRUCTURE INVERTS**

Structure #	Structure Name	Invert Elevation
1	Manhole	100.00
2	Manhole	100.00
3	Manhole	100.00
4	Manhole	100.00
5	Manhole	100.00
6	Manhole	100.00
7	Manhole	100.00
8	Manhole	100.00
9	Manhole	100.00
10	Manhole	100.00
11	Manhole	100.00
12	Manhole	100.00
13	Manhole	100.00
14	Manhole	100.00
15	Manhole	100.00
16	Manhole	100.00
17	Manhole	100.00
18	Manhole	100.00
19	Manhole	100.00
20	Manhole	100.00
21	Manhole	100.00
22	Manhole	100.00
23	Manhole	100.00
24	Manhole	100.00
25	Manhole	100.00
26	Manhole	100.00
27	Manhole	100.00
28	Manhole	100.00
29	Manhole	100.00
30	Manhole	100.00



<p>Documents prepared by Core States, Inc. are for the specific project and are not to be used for any other project. The user of these documents is responsible for verifying the accuracy of the information and for obtaining all necessary permits and approvals. Core States, Inc. is not responsible for any errors or omissions in these documents.</p>	<p>Job #: ARC-11654 Scale: 1"=20' Date: 01-10-11 Drawn By: MAB Checked By: P18</p>	<p><b>CORE STATES</b> GROUP</p>	<p><b>Panera</b> DDB&amp;D</p>	<p>Panera, LLC 1600 South Brentwood Boulevard, St. Louis, MO 63144 Cafe # 913 Drive-Thru Addition 971 W. Irving Park Road, Streamwood, Illinois 60107 Site and Utility Plan</p>	<table border="1"> <thead> <tr> <th>Rev. #</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td>001</td><td></td><td>Initial Issue</td></tr> <tr><td>002</td><td></td><td>Revised</td></tr> <tr><td>003</td><td></td><td>Revised</td></tr> <tr><td>004</td><td></td><td>Revised</td></tr> <tr><td>005</td><td></td><td>Revised</td></tr> <tr><td>006</td><td></td><td>Revised</td></tr> <tr><td>007</td><td></td><td>Revised</td></tr> <tr><td>008</td><td></td><td>Revised</td></tr> <tr><td>009</td><td></td><td>Revised</td></tr> <tr><td>010</td><td></td><td>Revised</td></tr> </tbody> </table>	Rev. #	Date	Description	001		Initial Issue	002		Revised	003		Revised	004		Revised	005		Revised	006		Revised	007		Revised	008		Revised	009		Revised	010		Revised
Rev. #	Date	Description																																				
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007		Revised																																				
008		Revised																																				
009		Revised																																				
010		Revised																																				

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SITE PLAN  
1/16" = 1'-0"

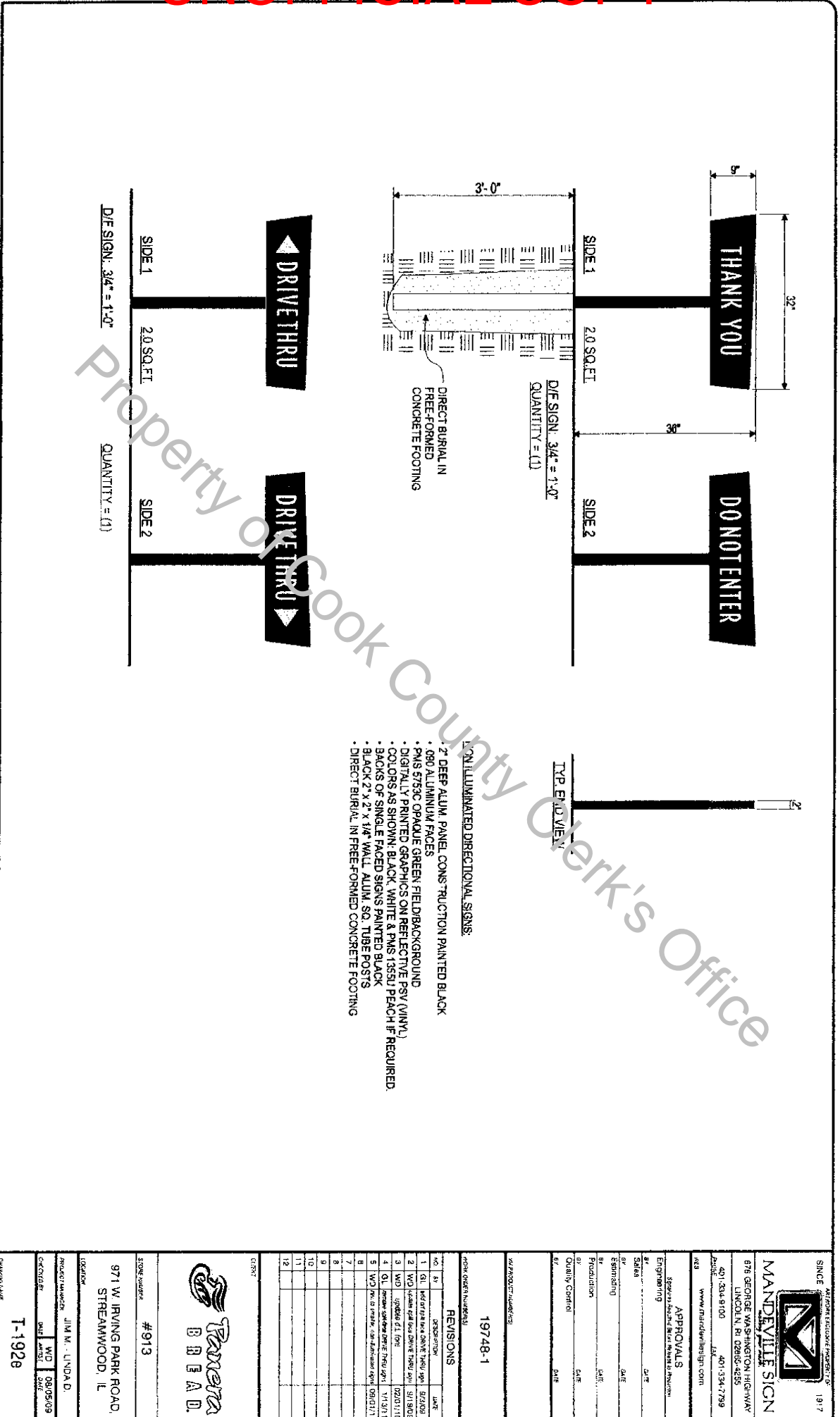


Property of Cook County Clerk's Office



<b>APPROVALS</b>	<b>MANDEVILLE SIGN</b>	<b>1917</b>
Standard Approval Sign Made to Order	876 GEORGE WASHINGTON HIGHWAY LINCOLN, IL 62652-4633	
Phone: 401-334-9100 FAX: 401-334-7799		
WWW.MANDEVILLSIGN.COM		
<b>APPROVALS</b>		
Engineering DATE		
SALES DATE		
Estimating DATE		
Production DATE		
Quality Control DATE		
DATE		
<b>WORK ORDER NUMBERS</b>		
19748-1		
<b>REVISIONS</b>		
NO. BY DESCRIPTION DATE		
1 GL 10/27/08 10/27/08		
2 WJ 10/28/08 10/28/08		
3 GL 10/28/08 10/28/08		
4		
5		
6		
7		
8		
9		
10		
11		
12		
<b>CLIENT</b>		
<b>Panera BREAD</b>		
<b>STORE NUMBER</b> #913		
<b>LOCATION</b> 971 W. IRVING PARK ROAD, STREAMWOOD, IL		
<b>PROJECT MANAGER</b> JIM M. LINDA O.		
<b>DATE ORDERED</b> 08/05/08		
<b>DATE SHIPPED</b> 08/05/08		
<b>DATE</b> 08/05/08		
<b>PHONE</b> T-1921		

UNOFFICIAL COPY



- NON-ILLUMINATED DIRECTIONAL SIGNS:
- 2" DEEP ALUM. PANEL CONSTRUCTION PAINTED BLACK
  - .090 ALUMINUM FACES
  - PMS 5753C OPAQUE GREEN FIELD/BACKGROUND
  - DIGITALLY PRINTED GRAPHICS ON REFLECTIVE PSY (MINV)
  - COLORS AS SHOWN, BLACK, WHITE & PMS 135SU PEACH IF REQUIRED.
  - BACKS OF SINGLE FACED SIGNS PAINTED BLACK
  - BLACK 2" x 2" x 1/4" WALL ALUM. SQ. TUBE POSTS
  - DIRECT BURIAL IN FREE-FORMED CONCRETE FOOTING

**MANDAVILLE SIGN**  
 878 GEORGE WASHINGTON HIGHWAY  
 LINCOLN, IL 62526-4253  
 Phone: 401-334-9100 Fax: 401-334-7759  
 Web: www.mandavillesign.com

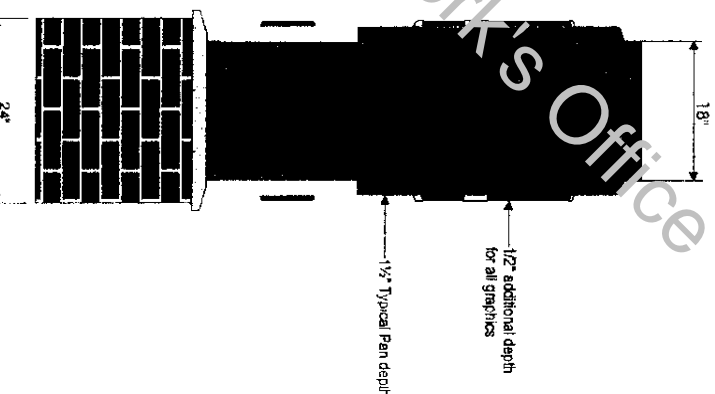
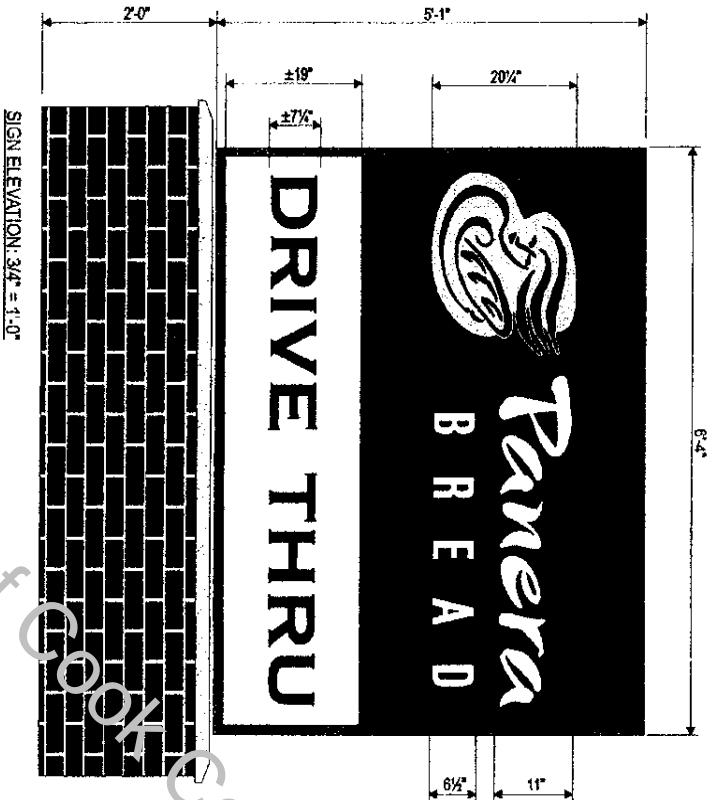
**APPROVALS**  
 Engineer: [Signature] DATE: [ ]  
 Checker: [Signature] DATE: [ ]  
 Fabricator: [Signature] DATE: [ ]  
 Quantity Control: [Signature] DATE: [ ]

**REVISIONS**

NO.	BY	DESCRIPTION	DATE
1	DL	Initial Order	07/20/09
2	WD	Update for final drawing	07/20/09
3	WD	Update for final drawing	07/20/09
4	DL	Final drawing	07/20/09
5	WD	Final drawing	07/20/09
6			
7			
8			
9			
10			
11			
12			

**CLIENT**  
**Panera BREAD**  
 971 W IRVING PARK ROAD,  
 STREAMWOOD, IL  
 PHONE: 630-331-9128  
 FAX: 630-331-9129  
 T-1928

# UNOFFICIAL COPY



- NEW FACES FOR EXISTING DIE INTERNAL LULL UNPAINTED MONUMENT SIGN:
- (CLEAR) PAN-FORMED POLYCARBONATE FACES, 2" O.A. DEPTH EA. W/ SQUARE FLANGES & EMBOSSED BACKSPRAYED GRAPHICS
  - BACKGROUND PAINTED OPAC U.E. MISSTYU
  - WHITE COPY - PANERA BREAD W/ BLACK OUTLINES
  - PMS 105BU PEACH MOTH, SR B 3E, D LOGO W/ BLACK DETAILS
  - BLACK DRIVE THRU LETTERS ON WHITE BACKGROUND
  - (WHITE & PEACH) DR TH INSURGENT)

SIGN ELEVATION: 3/4" = 1'-0"

END VIEW: 3/4" = 1'-0"



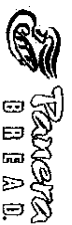
**MANDENVILLE SIGN**  
 676 GEORGE WASHINGTON HIGHWAY  
 LINCOLN, IN 42303-4235  
 401-334-9100 FAX 401-334-7799  
 www.mandenvillesign.com

APPROVALS

ENGINEERING	DATE
SIGNATURE	DATE
ESTIMATING	DATE
PRODUCTION	DATE
QUALITY CONTROL	DATE

REVISIONS

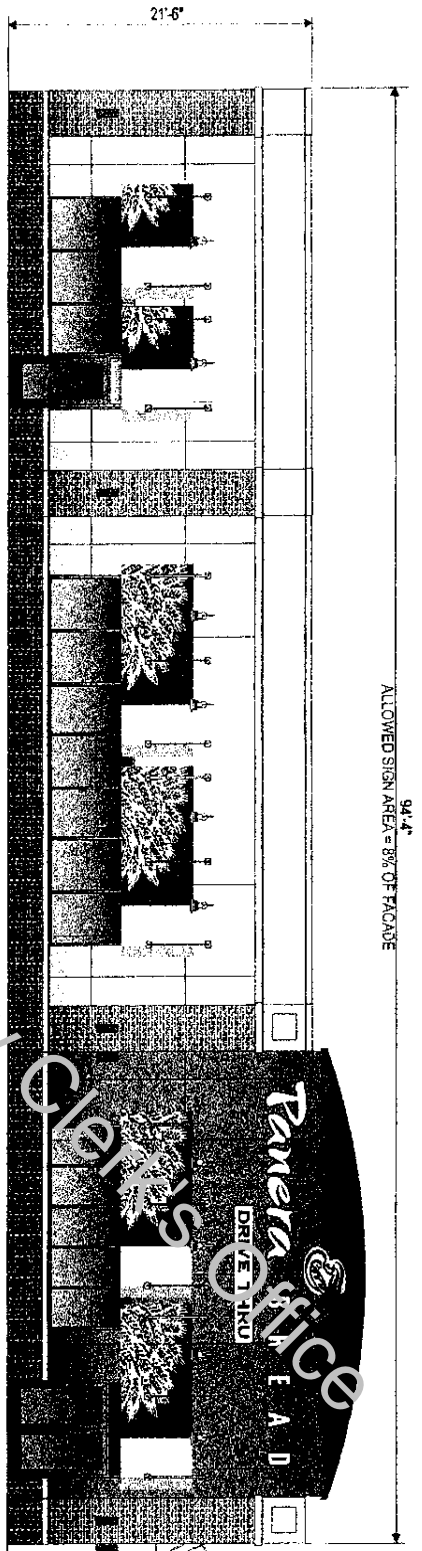
NO.	BY	DESCRIPTION	DATE
1	EL	ORDER DRIVE THRU SIGN	9/3/09
2	WD	UNION SYMBOL MODIFIED SKETCH	9/4/09
3	WD	SYMBOL SKETCH/ORDER SIGN	9/19/09
4	WD	ORDER & DEL.	02/01/10
5	EL	REMOVE UNPAINTED SYMBOL	11/30/11
6	WD	UPDATE SIGN SPECIFICATIONS	02/26/11
7			
8			
9			
10			
11			
12			



STORE NUMBER: #913  
 971 W. IRVING PARK ROAD,  
 STREAMWOOD, IL

PROJECT MANAGER: JIM M. LINDA D.  
 DATE: 09/05/09  
 T-192d

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ALLOWED SIGN AREA = 8% OF FACADE

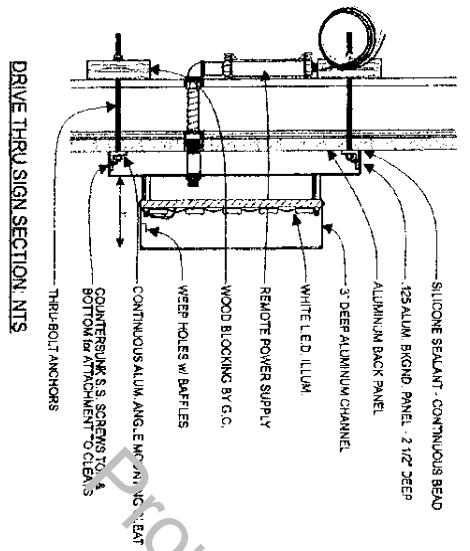
SOUTH ELEVATION: 1/8" = 1'-0"

**SIGN ALLOWANCE = 8% OF FACADE AREA**

94.33 X 21.5 X 8% = 162.20 SQ. FT. ALLOWED

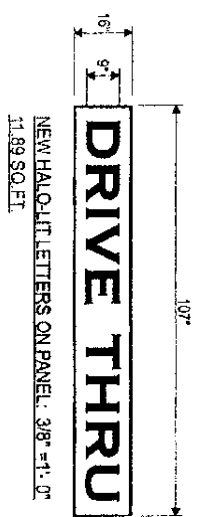
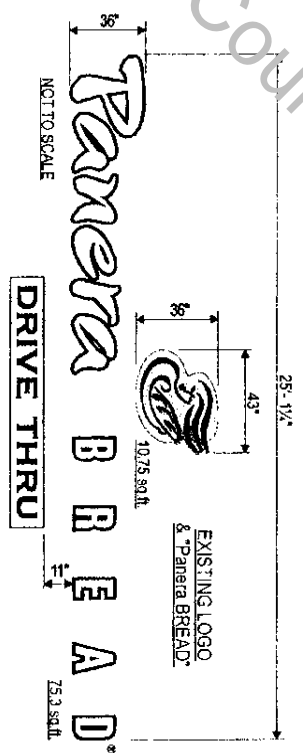
SIGN SQ. FT. CALCULATIONS:

EXISTING MB LOGO:	10.75 SQ. FT.
EXISTING CHANNEL LETTERS: 7.31 SQ. FT.	
PROPOSED "DRIVE THRU"	11.89 SQ. FT.
SIGN TOTAL:	97.95 SQ. FT.



DRIVE THRU SIGN SECTION: NTS

- INSTALLATED DRIVE THRU LETTERS & PLAQUE:
- 1/2" DEEP, 1/2" THICK ALUMINUM PLAQUE WITH RETURN AND 1" BORDER ON FACE PAINTED PMS ST87U
  - WHITE PAINTED INLAY ON FACE OF PANEL
  - 3/4" DEEP "DRIVE THRU" REVERSE CHANNEL LETTERS WITH HALO LIGHTING
  - WHITE L.E.D. ILLUMINATION
  - CLEAR LEXAN BACKS
  - REMOTE POWER SUPPLY
  - FLUSH WALL MOUNT
  - V.L. LABEL

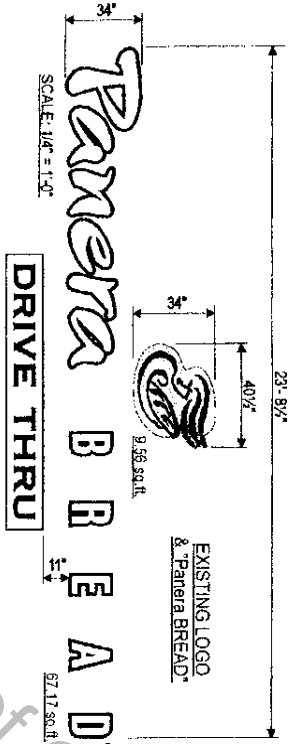
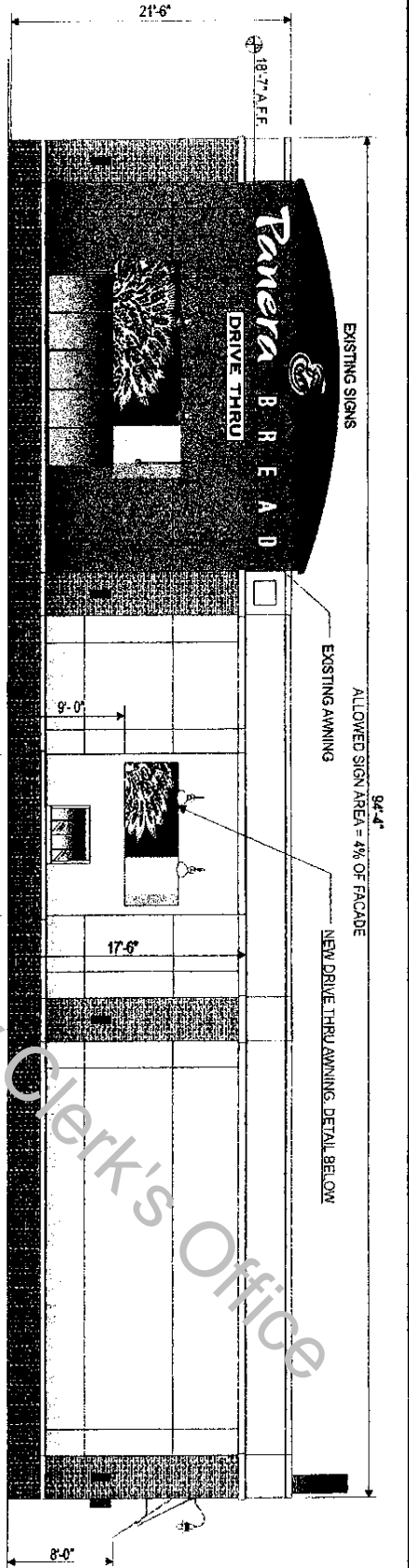


NEW HALO LIGHT LETTERS ON PANEL: 3/8" = 1'-0"

11.89 SQ. FT.

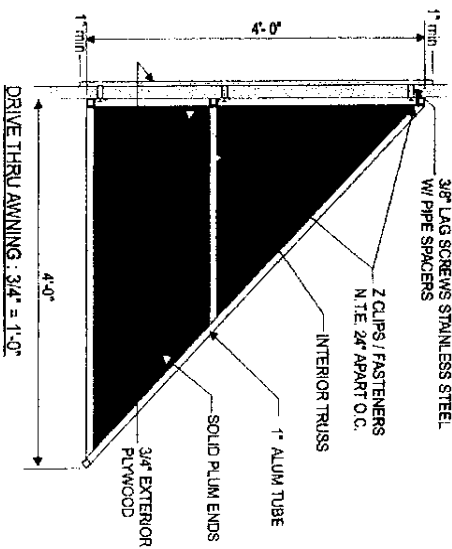
<p>7974 W. IRVING PARK ROAD, STREAMWOOD, IL</p>	<p>1917</p>
<p>PROJECT NUMBER: #913</p>	<p>DATE: 08/05/09</p>
<p>DESIGNER: JIM M. LINDA O.</p>	<p>DATE: 08/05/09</p>
<p>DATE: 08/05/09</p>	<p>DATE: 08/05/09</p>
<p>T-192C</p>	<p>1917</p>

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NEW HALF-LIT LETTERS ON PANEL, 3/8" = 1'-0"  
REFER TO CROSS SECTION & SPECS SHEET T-192c  
11.89 SQ.FT.

SIGN ALLOWANCE = 4% OF FACADE AREA	9.56 SQ.FT.
EXISTING MB LOGO	9.56 SQ.FT.
EXISTING CHANNEL LETTERS: 67.17 SQ.FT.	11.89 SQ.FT.
PROPOSED "DRIVE THRU"	11.89 SQ.FT.
SIGN TOTAL	88.62 SQ.FT.



- 1" SQ. ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED SEIBERT SILVER #188110
- TRUSS SPACING N.T.E. 36" APART O.C.
- 4" RION SKINTON SCREEN PRINTED VINYL FABRIC COVER- PLUM (INCLUDING ENDCAPS) TO MATCH SUBRELLA #4622
- BUTTERCOTCH TO MATCH DICKSON SAND #0004
- 3 1/2" WIDE PANELS & WHEAT BACKGROUND
- GREEN TO MATCH PANTONE 5733C, 9" WIDE STRIPES
- GRAY PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS
- G.C. TO PROVIDE PLYWOOD BLOCKING AS NECESSARY

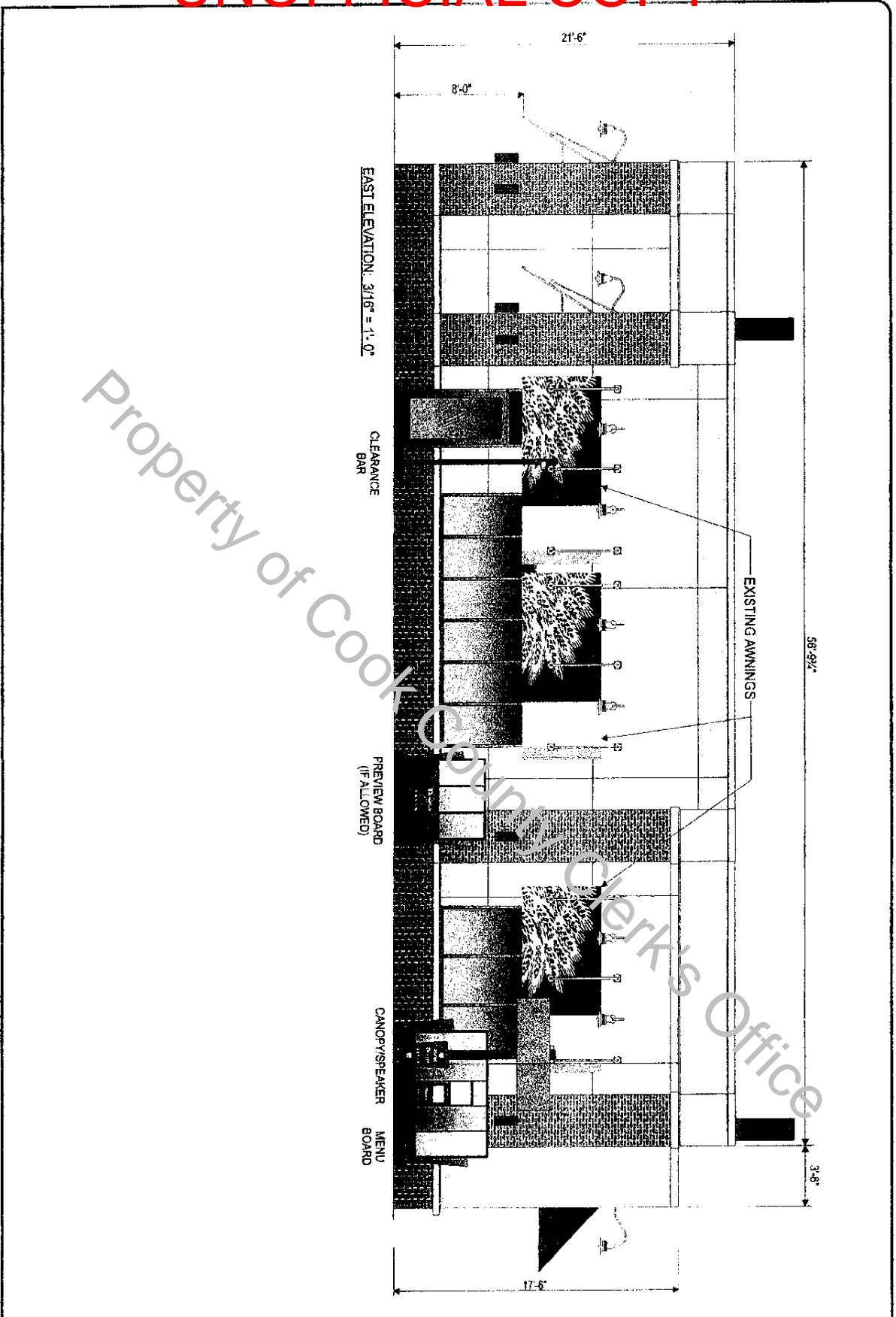
MANDAVILLE SIGN  
6702 GEORGE WASHINGTON ROAD  
MORRIS, IL 62452-5258  
463-334-7700

NO.	BY	REVISIONS	DATE
1	JL	ISSUE	02/01/10
2	WD	UPDATE EDGE & DETAIL	02/09/10
3	WD	REMOVE BARRING	02/09/10
4	WD	UPDATE COLORS & DETAIL	02/24/10
5	WD	UPDATE DETAIL	12/28/10
6	WD	UPDATE DETAIL	1/13/11
7	WD	UPDATE DETAIL	01/01/11
8			
9			
10			
11			
12			



CLIENT  
#913  
971 W. IRVING PARK ROAD,  
STREAMWOOD, IL  
DATE: 08/05/09  
WID: 08/05/09  
T-192b

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**MANDAVILLE SIGN**  
 676 GEORGE WASHINGTON HIGHWAY  
 LINCOLN, RI 02865-4855  
 Phone: 401-334-9100 Fax: 401-334-7799  
 Website: www.mandavillesign.com

**APPROVALS**

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

SINCE 1917



7 Panera  
BREAD

SCORE NUMBER #913

971 W. IRVING PARK ROAD,  
 STREAMWOOD, IL

PROJECT MANAGER: JIM M. LINDA D.

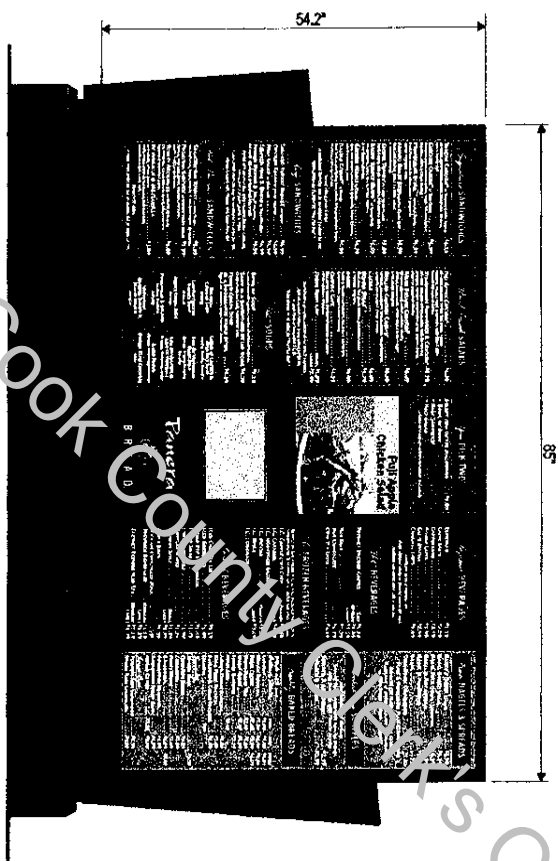
DATE: \_\_\_\_\_

PROJECT: T-192a





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Property of Cook County Clerk's Office

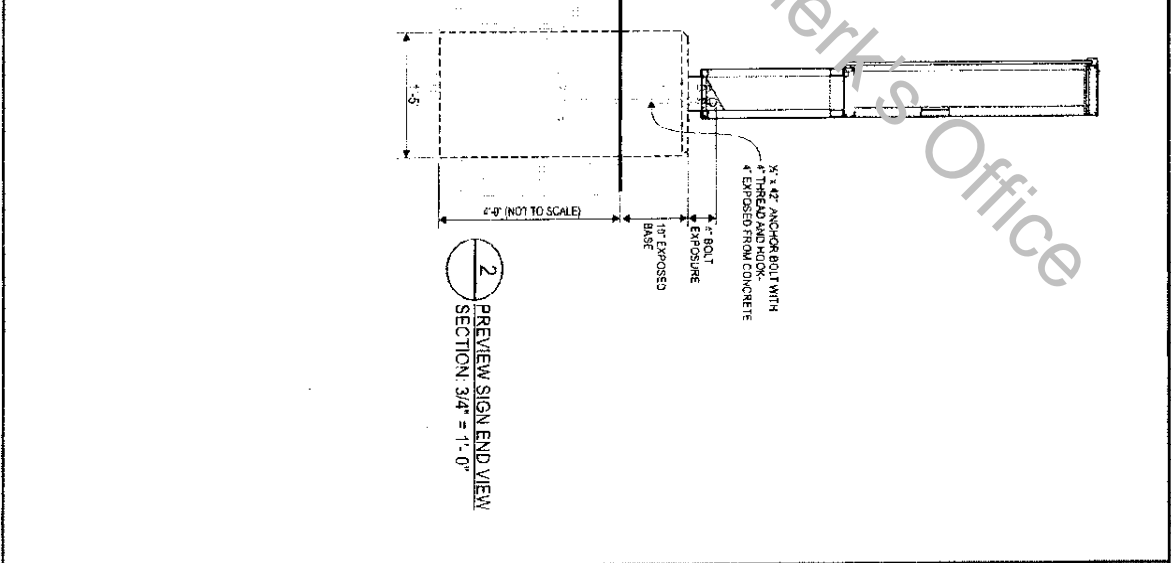
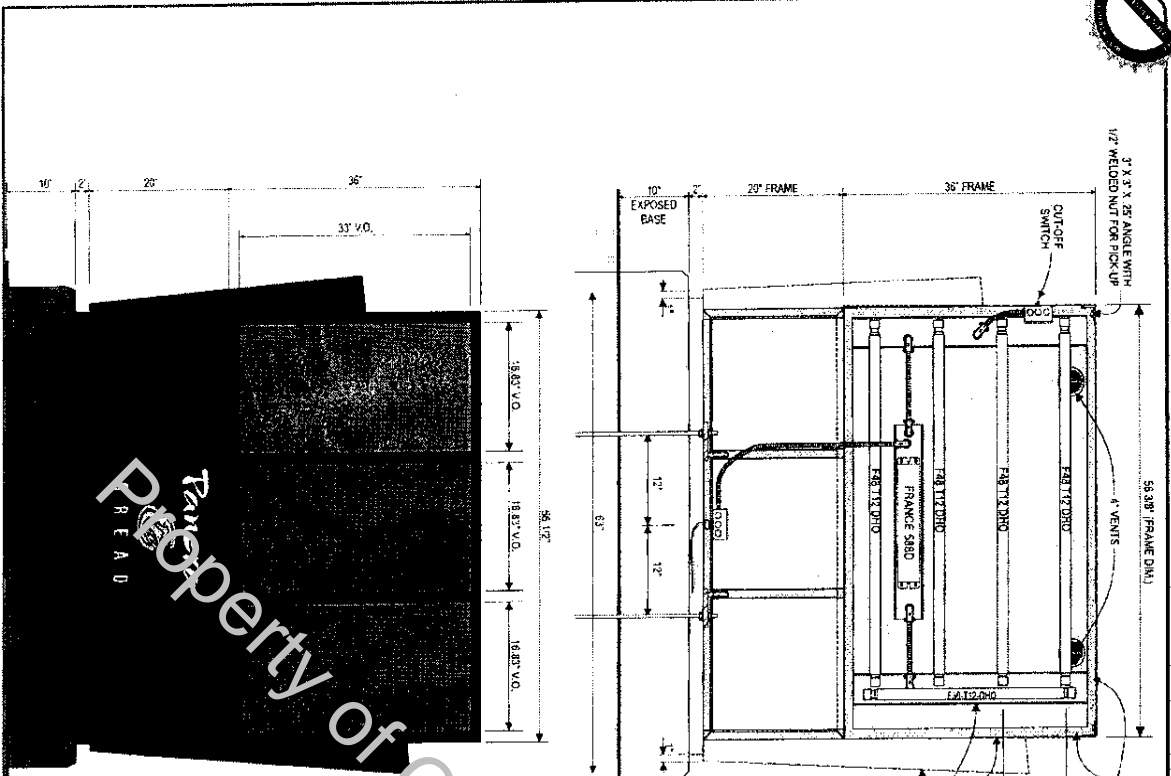


MENU BOARD  
3/4" = 1'-0"

AREA: 31.99 SQ.FT.

 <p><b>MANDYVILLE SIGN</b> 676 GEORGE WASHINGTON HIGHWAY LINCOLN, IL 62838-4530 PH: 618-334-9100 FAX: 618-334-7799 WWW.MANDYVILLESIGN.COM</p>	<p>APPROVALS</p> <p>DATE: _____</p> <p>DATE: _____</p> <p>DATE: _____</p> <p>DATE: _____</p> <p>DATE: _____</p> <p>DATE: _____</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td><td></td></tr> <tr><td>11</td><td></td><td></td><td></td></tr> <tr><td>12</td><td></td><td></td><td></td></tr> </tbody> </table>	NO.	BY	DESCRIPTION	DATE	1				2				3				4				5				6				7				8				9				10				11				12				<p>CLIENT</p> <p> <b>Panera BREAD</b></p> <p>STORE NUMBER: #913</p> <p>LOCATION: 971 W. IRVING PARK ROAD, STREAMWOOD, IL</p> <p>PROJECT MANAGER: JIM M. - LINDA D.</p> <p>DATE: 08/01/11</p> <p>T-1929</p>
NO.	BY	DESCRIPTION	DATE																																																				
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<p><b>MANDEVILLE SIGN</b>                  678 SINGING SWINGINGTON HWY                  LINDOLLA, IL 62453-2825                  TEL: 618-334-4110 FAX: 618-334-7798                  WWW.MANDEVILLESIGN.COM</p>		<p>APPROVALS                  Signature: _____ DATE: _____                  Engineering: _____ DATE: _____                  Sales: _____ DATE: _____                  Estimate: _____ DATE: _____                  Fabrication: _____ DATE: _____                  Construction: _____ DATE: _____                  Detail/Control: _____ DATE: _____</p>																																							
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NO.	DATE	DESCRIPTION																																							
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Property of Cook County Clerk's Office

Property of Cook County Clerk's Office

3 PREVIEW SIGN EXTERIOR  
 ELEVATION: 3/4" = 1'-0"

2 PREVIEW SIGN END VIEW  
 SECTION: 3/4" = 1'-0"

1 PREVIEW SIGN FRAME  
 ELEVATION: 3/4" = 1'-0"

21.92 SQ.FT.

ELECTRICAL REQUIREMENTS:  
 15 AMPS @ 120V  
 FOR PREVIEW BOARD

