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Doc#: 1315719086 Fee: \$138.00
Affidavit Fee:
Karen A. Yarbrough
Cook County Recorder of Deeds
Date: 06/06/2013 04:08 PM Pg: 1 of 51

Property of Cook County Clerk's Office

ORDINANCE NO. 0-139-12

**AN ORDINANCE GRANTING FINAL PLANNED DEVELOPMENT APPROVAL FOR
2264, 2265, 2273, 2275, 2295, 2301, 2307, 2313, 2319 & 2325 N. RAND ROAD
(CASE NO. 12-72)**

Pins: 02-02-102-003 -- 007
02-02-102-021
02-02-102-030 -- 033

**Village of Palatine
Village Clerk's Office
200 E. Wood Street
Palatine, IL 60067**

**Published in pamphlet form by authority of the
Mayor and Village Council of the Village of Palatine
on October 8, 2012**

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ORDINANCE NO. 0-139-12

**AN ORDINANCE GRANTING FINAL PLANNED DEVELOPMENT APPROVAL
FOR 2264, 2265, 2273, 2275, 2293, 2301, 2307, 2313, 2319 & 2325 N. RAND ROAD
(CASE NO. 12-72)**

WHEREAS, upon petition of owners of said property, hearings were held by the Plan Commission of the Village of Palatine on October 2, 2012 in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, and said Plan Commission, having made its findings in a report to the Mayor and Village Council of the Village of Palatine regarding a request for Final Planned Development to permit the construction and operation of a new automobile dealership (Hyundai) including auxiliary service and repairs.

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:

SECTION 1: That Final Planned Development approval is hereby granted pursuant to Section 13.05 of the Palatine Zoning on the legally described property on Exhibit "A", attached hereto.

SECTION 2: That final approval of a Final Planned Development is hereby granted to the above described property pursuant to Section 13.05 of the Palatine Zoning Ordinance, subject to the following conditions:

1. The development shall substantially conform to the Engineering Plans prepared by Spaceco Inc. dated 8/24/12 last stamped 9/26/12; and to the Architectural Plans prepared by Custom Facilities dated and last revised 8/24/12; and to the Sign Plans prepared by Architectural Graphics, Inc. last revised 8/24/12; and to the Landscape Plan prepared by Norris Design last revised 9/25/12 except as such plans may be changed to conform to Village Codes and Ordinances and the following conditions:
2. If there are any discrepancies between the Redevelopment Agreement and this Ordinance, the Redevelopment Agreement shall supersede.
3. Planning and Engineering review fees shall be paid in the amount of \$3,051.65.
4. Cash-in-lieu of sidewalks along Lake-Cook Road shall be paid in an amount acceptable to the Village Engineer.
5. Handicap parking shall be provided in accordance with the Illinois Accessibility Code.
6. The landscaping plan shall be revised in a manner acceptable to the Director of Planning and Zoning.
7. The sanitary sewer shall be extended along the north side of Rand Road to the intersection with Lake-Cook Road in a manner acceptable to the Village Engineer.

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Depending on the final design and location of this sewer, an easement may need to be dedicated.

8. All of the sanitary sewers constructed under MWRD permit # 82-149 should be properly abandoned in a manner acceptable to the Village Engineer. The former MWRD permit should be officially closed out.
9. If the future building addition is similar to that shown on the engineering plans, it is approved as a component of this Petition and only a building permit and any other necessary permit will be required. Additional service parking must be identified at that time and the building expansion should be, at the determination of the Village, in substantial conformance to the engineering and architectural plans attached hereto. Any addition not in substantial conformance to said plans will require a Planned Development Amendment.
10. One of the existing billboards may be relocated as shown on the engineering plans and the terms of each billboards existence shall comply with the applicable conditions outlined in the Redevelopment Agreement.
11. The retaining walls will need to be designed by a structural engineer.
12. IDOT, CCHD, MWRD, IEPA and NPDES permits will be required.

SECTION 3: That the petition for final planned development, a copy of the public notice, be attached hereto and form a part of this ordinance.

SECTION 4: This ordinance shall be in full force and effect upon passage and approval as provided by law.

PASSED: This 8 day of October, 2012

AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0

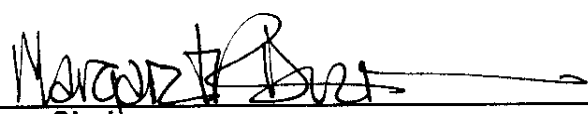
APPROVED by me this 8 day of October, 2012



 Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk

this 8 day of October, 2012



 Village Clerk

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EXHIBIT "A"

PARCEL 003:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE CENTER LINE OF RAND ROAD 304 FEET SOUTHEASTERLY OF THE POINT OF INTERSECTION OF THE CENTER LINE OF SAID ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION, (SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION); THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF SAID ROAD 50 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 379.50 FEET TO A POINT IN THE NORTH LINE OF SAID SECTION, 505.13 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE WEST ALONG THE NORTH LINE OF SAID SECTION 97.17 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 310.35 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART TAKEN BY STATE OF ILLINOIS FOR ROUTE 60 AS SHOWN ON PLAT OF SURVEY RECORDED AS DOCUMENT 12592034) AND ALSO EXCEPT THE NORTH 60 FEET THEREOF) IN COOK COUNTY ILLINOIS.

AND ALSO PARCEL 004:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF SAID RAND ROAD 354 FEET TO A POINT OF BEGINNING: THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 50 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 453 FEET TO A POINT IN THE NORTH LINE OF SAID SECTION 2 WHICH IS 606.74 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2 AFORESAID 101.61 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 379.50 FEET TO THE POINT OF BEGINNING (EXCEPT THE NORTH 60 FEET THEREOF) IN COOK COUNTY, ILLINOIS.

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AND ALSO PARCEL 005:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 104 FEET TO A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 50 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 506.16 FEET TO A POINT IN THE NORTH LINE OF SAID SECTION 2, THAT IS 679.71 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2, AFORESAID 72.97 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 453 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

AND ALSO PARCEL 006:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD, 454 FEET TO A POINT OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE CENTER LINE 50 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 559.30 FEET TO A POINT IN THE NORTH LINE OF SAID SECTION 2 THAT IS 752.68 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2 AFORESAID 72.97 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 506.15 FEET TO THE POINT OF BEGINNING, (EXCEPT THE SOUTHWESTERLY 50 FEET THEREOF AND EXCEPT THAT PART FALLING WITHIN THE NORTH 60 FEET OF SECTION), IN COOK COUNTY, ILLINOIS.

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AND ALSO PARCEL 007:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2: THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 504 FEET TO A POINT OF BEGINNING THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 100 FEET, THENCE NORTHEASTERLY IN A STRAIGHT LINE 665.60 FEET TO A POINT IN THE NORTH LINE OF SAID SECTION 2, THAT IS 898.62 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, THENCE WEST ALONG THE NORTH LINE OF SECTION 2 AFORESAID, 145.94 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 559.30 FEET TO A POINT OF BEGINNING (EXCEPTING THEREFROM THAT PART LYING NORTH OF THE FOLLOWING DESCRIBED LINE, COMMENCING AT THE INTERSECTION OF THE EAST LINE OF AFORESAID NORTH EAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, THAT IS 70 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST 1/4, THENCE WEST PARALLEL WITH SAID NORTH LINE TO A POINT 494 FEET WEST OF AND 70 FEET SOUTH OF THE NORTH EAST CORNER OF SAID NORTH EAST 1/4, THENCE NORTH AT RIGHT ANGLES TO THE LAST DESCRIBED LINE 10 FEET, THENCE WEST PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST 1/4 TO THE WEST LINE OF THE NORTH EAST 1/4 OF THE NORTH WEST 1/4 OF SAID SECTION 2) IN COOK COUNTY, ILLINOIS.

AND ALSO PARCEL 021:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 754 FEET TO THE POINT OF BEGINNING: THENCE SOUTHEAST ALONG THE CENTER LINE OF RAND ROAD, 50 FEET; THENCE NORTHEAST IN A STRAIGHT LINE 878.20 FEET TO A POINT ON THE NORTH LINE OF SECTION 2 AFORESAID, THAT IS 1190.50 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2 AFORESAID 72.97 FEET; THENCE SOUTHWESTERLY IN A

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STRAIGHT LINE 825.05 FEET TO THE POINT OF BEGINNING, (EXCEPTING ANY PART OF THE LAND CONVEYED TO THE COUNTY OF COOK BY DEED RECORDED NOVEMBER 20, 1975 AS DOCUMENT 23300598 AND EXCEPT ANY PART OF THE LAND CONTAINED IN CONDEMNATION CASE 01L50859) IN COOK COUNTY, ILLINOIS.

AND ALSO PARCEL 030:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 AND WEST 4 ACRES OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 804 FEET TO THE POINT OF BEGINNING; THENCE SOUTHEAST ALONG THE CENTER LINE OF RAND ROAD, 50 FEET; THENCE NORTHEAST IN A STRAIGHT LINE 931.34 FEET TO A POINT ON THE NORTH LINE OF SECTION 2 AFORESAID THAT IS 1263.47 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2 AFORESAID 72.97 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 878.20 FEET TO THE POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.

AND ALSO PARCEL 031:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF RAND ROAD, 604 FEET TO A PLACE OF BEGINNING THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF RAND ROAD, 100 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 771.90 FEET MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID SECTION 2, THAT IS 1,044.56 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2, AFORESAID, 145.94 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE, 665.60 FEET MORE OR LESS TO THE PLACE OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE LAND TAKEN FOR ROAD PURPOSES) ALL IN COOK COUNTY, ILLINOIS.

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AND ALSO PARCEL 032:

THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF RAND ROAD 704 FEET TO THE PLACE OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF RAND ROAD 50 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 825.05 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 2, THAT IS 1,117.53 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF SECTION 2, AFORESAID, 72.97 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 771.90 FEET MORE OR LESS TO THE PLACE OF BEGINNING (EXCEPTING THEREFROM THAT PART OF THE LAND TAKEN FOR ROAD PURPOSES), ALL IN COOK COUNTY, ILLINOIS.

AND ALSO PARCEL 033-1:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN AS FOLLOWS: COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2, THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF SAID RAND ROAD 204.00 FEET TO A PLACE OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF RAND ROAD 100 FEET THENCE NORTHEASTERLY IN A STRAIGHT LINE 310.35 FEET TO A POINT IN THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER, OF SAID SECTION 2 THAT IS 407.96 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, AFORESAID 177.15 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE 188.22 FEET TO THE PLACE OF BEGINNING (EXCEPT THE NORTH 60 FEET, AS MEASURED AT RIGHT ANGLES TO THE NORTH LINE THEREOF) IN COOK COUNTY, ILLINOIS.

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AND ALSO PARCEL 033-2:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF RAND ROAD WITH THE WEST LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2, SAID POINT OF INTERSECTION BEING 16.12 FEET SOUTH OF THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2; THENCE SOUTHEASTERLY ALONG THE CENTER LINE OF SAID RAND ROAD 204.00 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE 188.22 FEET A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2 THAT IS 230.81 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2; THENCE WEST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2 AFORESAID 230.81 FEET; THENCE SOUTH 16.12 FEET TO THE PLACE OF BEGINNING (EXCEPT THAT PART TAKEN FOR LAKE-COOK ROAD) IN COOK COUNTY, ILLINOIS.

**commonly known as 2264, 2265, 2273, 2275, 2293, 2301, 2307, 2313, 2319 & 2325 N. Rand Road
(PINs 02-02-102-003 thru 007; 02-02-102-021; 02-02-102-030 thru 033)**

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PATRICK HYUNDAI
PALATINE, ILLINOIS

9575 W. Higgins Road, Suite 200, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

SPINCO INC.
ENGINEER
PROFESSIONAL DESIGN FIRM NO. 184-00087
EXPIRATION DATE 11/30/2013
DATE: 09/24/12
SHEET NO. 6471
SHEET 1 OF 3

SITE IMPROVEMENT PLANS

for

PATRICK HYUNDAI

PALATINE, ILLINOIS

PROJECT NO: 6471

OWNER
THE PATRICK GROUP
526 MALL DRIVE
SCHAMBURG, IL 60173
PHONE: (847) 466-7474
FAX: (847) 515-8891

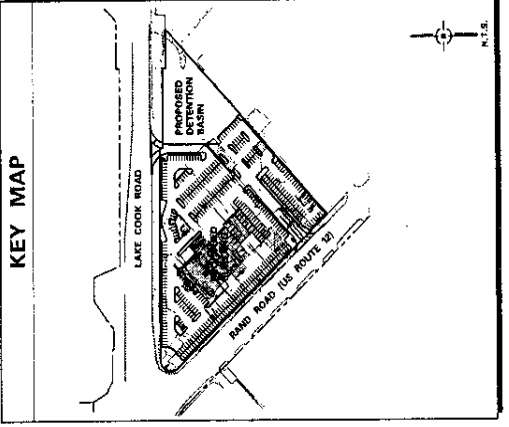
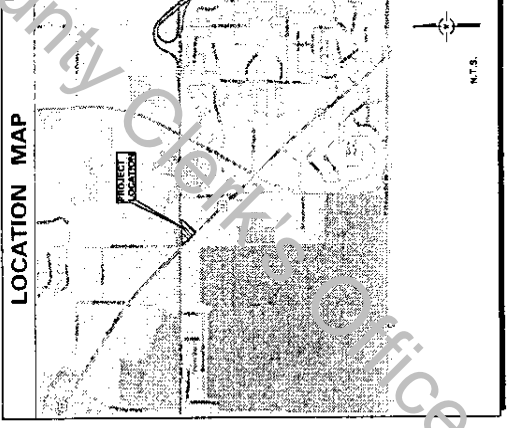
CALL JILLIE 480-082-0723
WITH THE FOLLOWING:
COUNTY: COOK PALATINE, PALATINE
CITY, TOWNSHIP: PALATINE, PALATINE
SEC. & 1/2 SEC. NO.: 142N, RIDGE SEC. 2 NW 1/4
48 HOURS BEFORE YOU DIG,
EXCLUDING SAT., SUN. & HOLIDAYS

BENCHMARK
THE BENCHMARK OF CONCRETE IS FOR THE STATE OF ILLINOIS. THE BENCHMARK BOX IS LOCATED ON EAST SIDE OF RAND ROAD ADJACENT TO "SUN TOP".

NOTE:
SPACE IS TO BE NOTED AT LEAST THREE DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

INDEX

SHEET NO.	TITLE
1	TITLE SHEET
2	TYPICAL SECTIONS AND GENERAL NOTES
3	EXISTING CONDITIONS AND DEMOLITION PLAN
4	GEOMETRIC PLAN
5	GRADING PLAN
6	UTILITY PLAN
7-B	PRIN-SP2 SANITARY SEWER PLAN AND PROFILE
8-11	SEI-SE3 SOIL EROSION AND SEDIMENT CONTROL PLAN
12	SPI SPECIFICATIONS
13-14	DETAILED
L-1	LANDSCAPE PLAN



REVISIONS

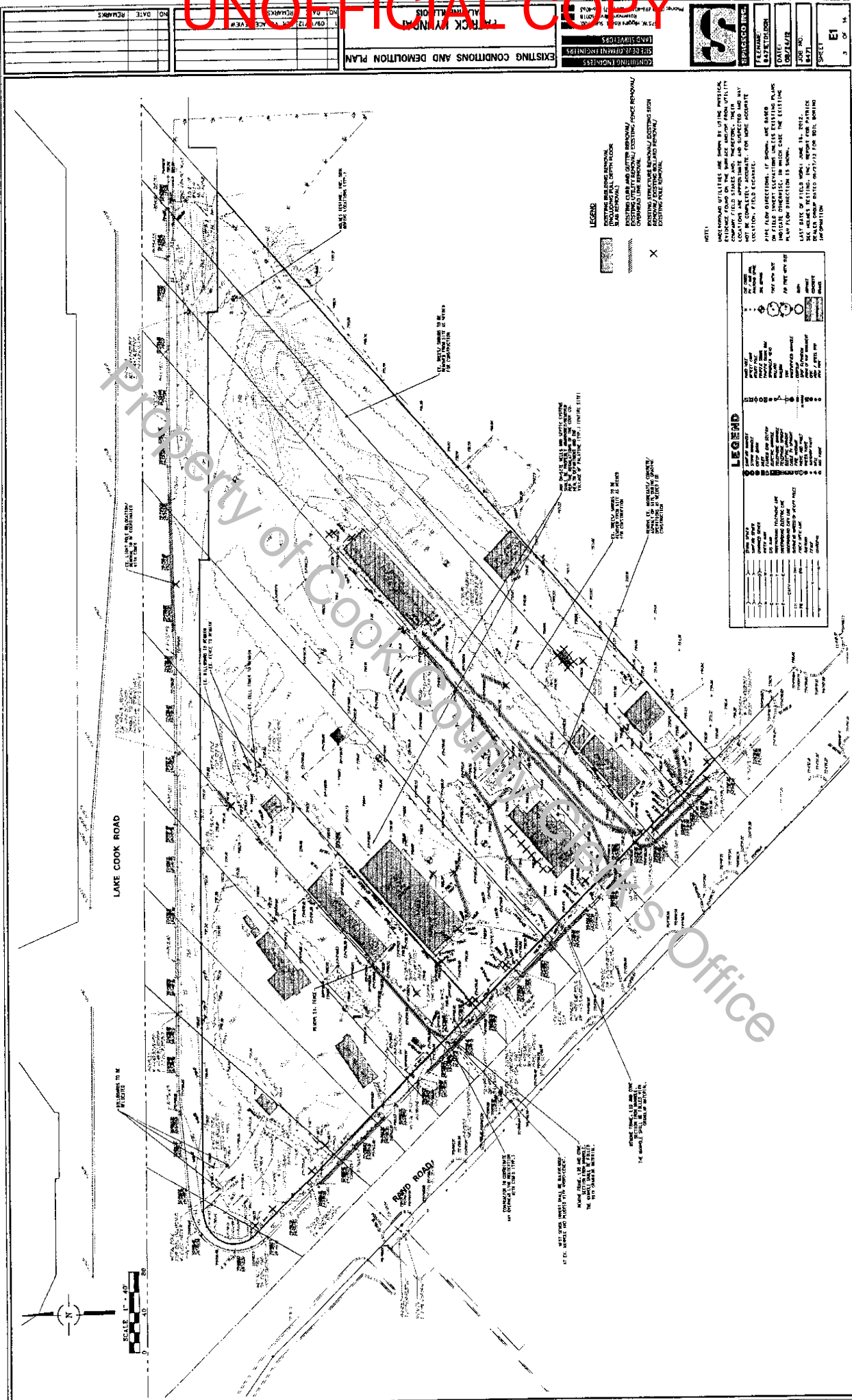
NO.	DATE	REVISIONS
1	09/24/12	PER VILLAGE REVIEW

ORIGINAL PLAN DATE: AUGUST 24, 2012

ENGINEER
MICHAEL MONDUS, P.E.
PROFESSIONAL DESIGN FIRM NO. 184-00087
EXPIRATION DATE 11/30/2013
DATE: 09/24/12

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NO.	DATE	REMARKS

EXISTING CONDITIONS AND DEMOLITION PLAN	
TRUCK YARD	
CONTINUED FROM SHEET 11/11	
DATE: 11/12/11	
JOB NO: 111111	
SHEET: E1	
3 OF 14	

LEGEND

EXISTING CONCRETE WALLS TO BE DEMOLISHED

EXISTING CONCRETE WALLS TO REMAIN

EXISTING UTILITY LINES TO REMAIN

EXISTING UTILITY LINES TO BE REMOVED

EXISTING FENCE REMOVAL

EXISTING FENCE REMOVAL

NOTES:

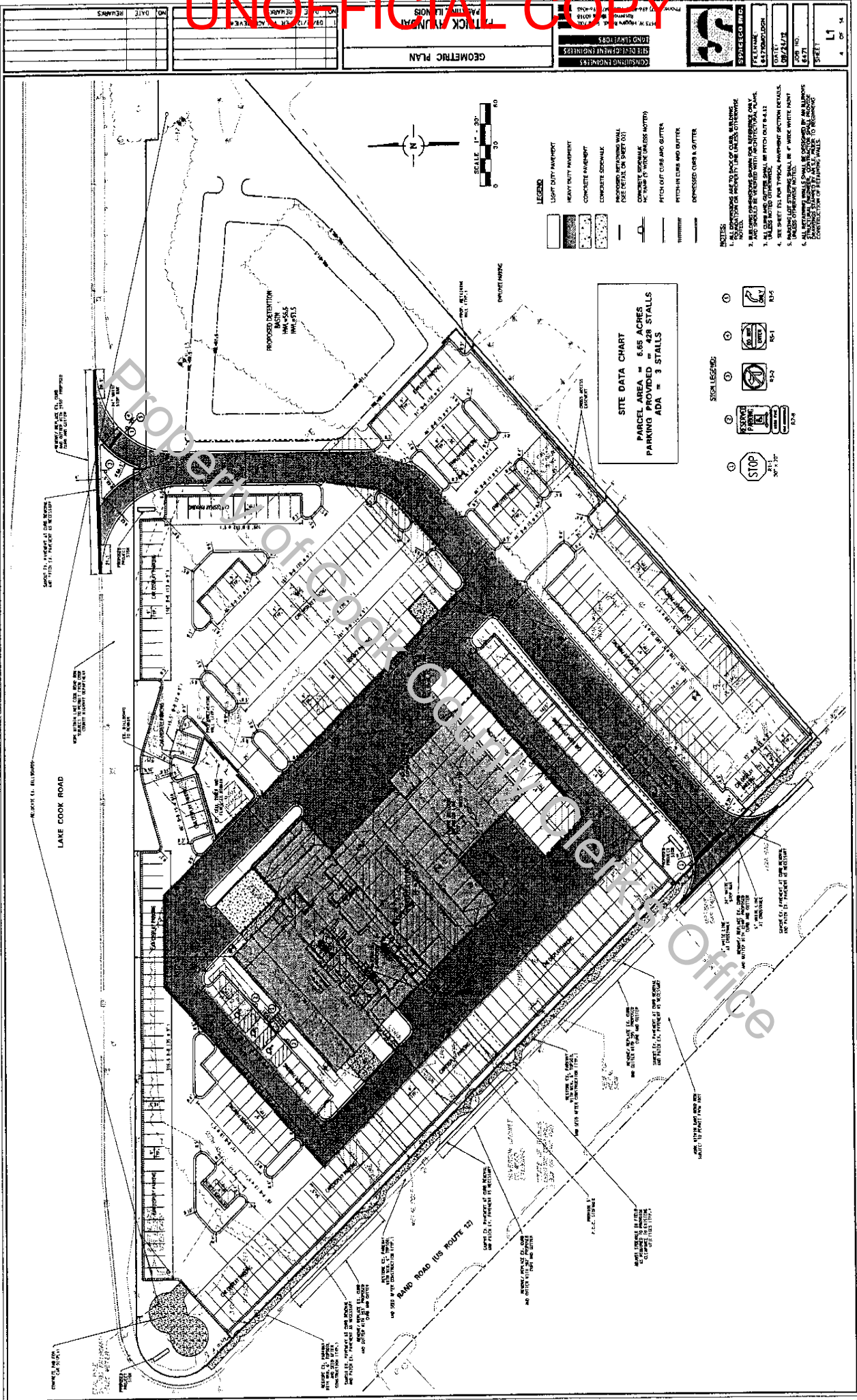
UNDERGROUND UTILITIES ARE SHOWN BY USING PROVISIONAL EVIDENCE FOUND ON THE SURFACE SURROUNDING AREA. UTILITY LOCATIONS ARE APPROXIMATE AND SUBJECTS MAY NOT BE COMPLETELY ACCURATE; FOR MORE ACCURATE INFORMATION, CONSULT THE CITY OF CHICAGO, THE BOARD OF PUBLIC WORKS, AND THE DEPARTMENT OF PUBLIC WORKS. INDICATE SHOWN UNLESS OTHERWISE SHOWN ON THE ORIGINAL DRAWING. IN WHICH CASE, THE EXISTING PLANS SHALL PREVAIL. LAST DATE OF FIELD WORK: JUNE 14, 2011. ALL DIMENSIONS SHALL BE TAKEN AS SHOWN UNLESS OTHERWISE NOTED. SEE BLACK CHIP BATED SHEET 11/12 FOR BOLL BOILING INFORMATION.

LEGEND

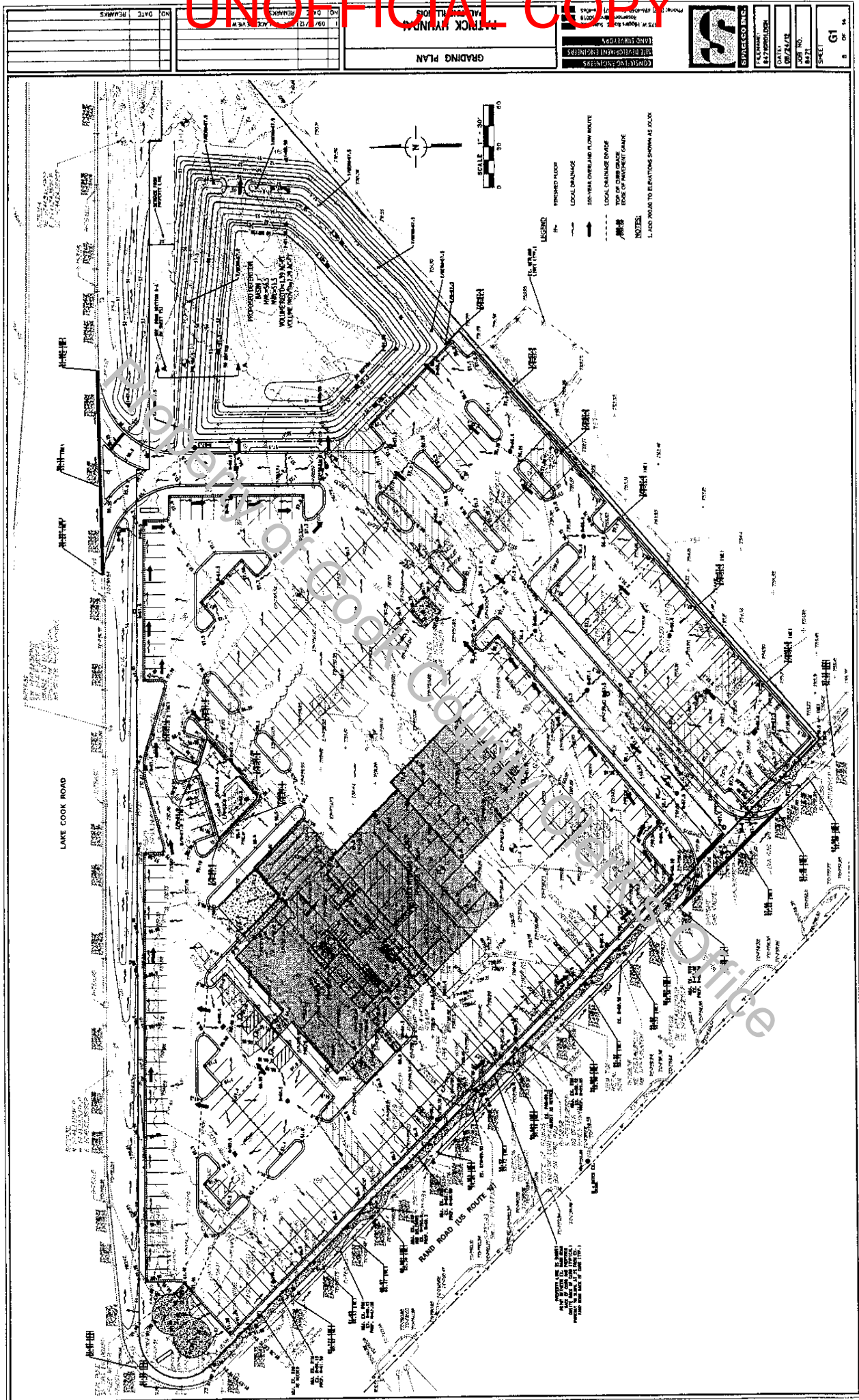
---	EXISTING UTILITY LINES TO REMAIN
- - -	EXISTING UTILITY LINES TO BE REMOVED
- - -	EXISTING FENCE REMOVAL
- - -	EXISTING FENCE REMOVAL

PROPERTY OF COOK COUNTY PLANNING OFFICE

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NO.	DATE	REVISIONS

NO.	DATE	REVISIONS

GRADING PLAN

CONCEPT ENGINEERS
LONG DEVELOPMENT ENGINEERS
1200 North ...
CHICAGO, ILLINOIS 60610
PHONE (773) ...
FAX (773) ...
WWW.CONCEPTENGINEERS.COM

PROJECT NO. ...
SHEET NO. ...
DATE ...

SCALE 1" = 30'
0' 10' 20'

LEGEND

- FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB/GRADE
- EDGE OF PROPOSED GRADE

NOTE:
LAND PROJECTIONS TO ELEVATIONS SHOWN AS ABOVE

CONCEPT ENGINEERS

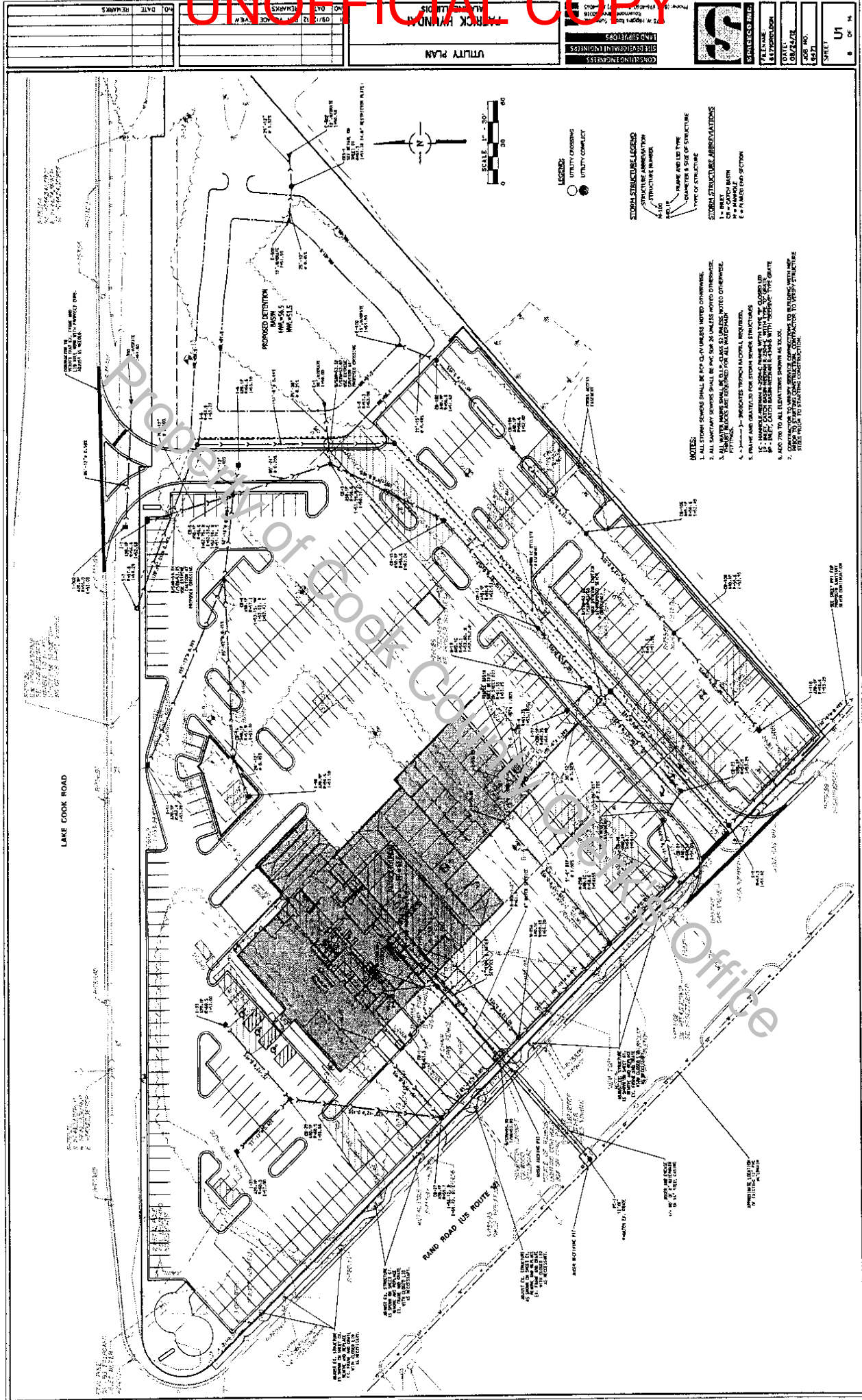
1200 North ...
CHICAGO, ILLINOIS 60610
PHONE (773) ...
FAX (773) ...
WWW.CONCEPTENGINEERS.COM

PROJECT NO. ...
SHEET NO. ...
DATE ...

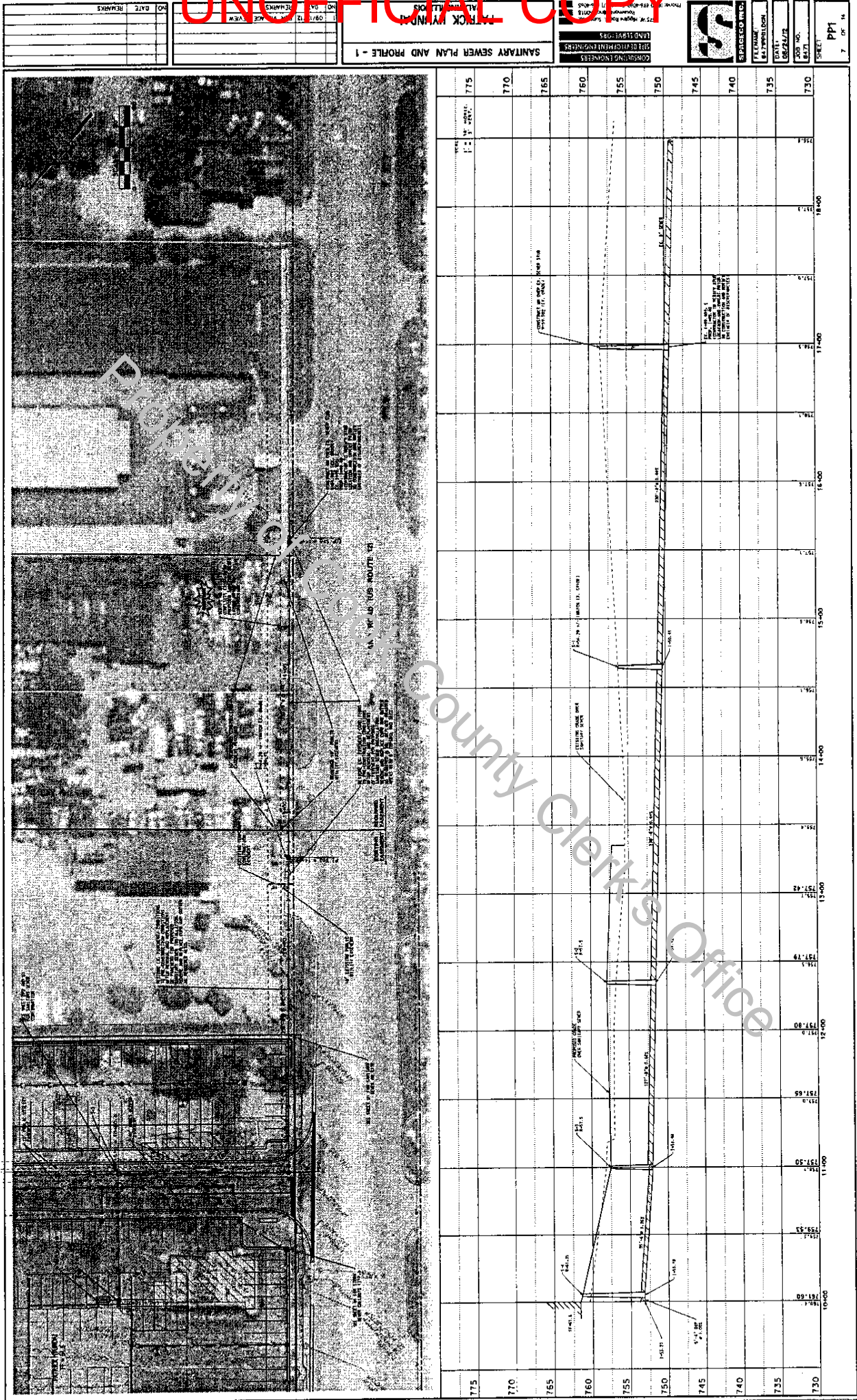
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NO.	DATE	REVISIONS

NO.	DATE	REVISIONS

SANITARY SEWER PLAN AND PROFILE - 1

CONSTRUCTION ENGINEERS
 11111 11111 11111
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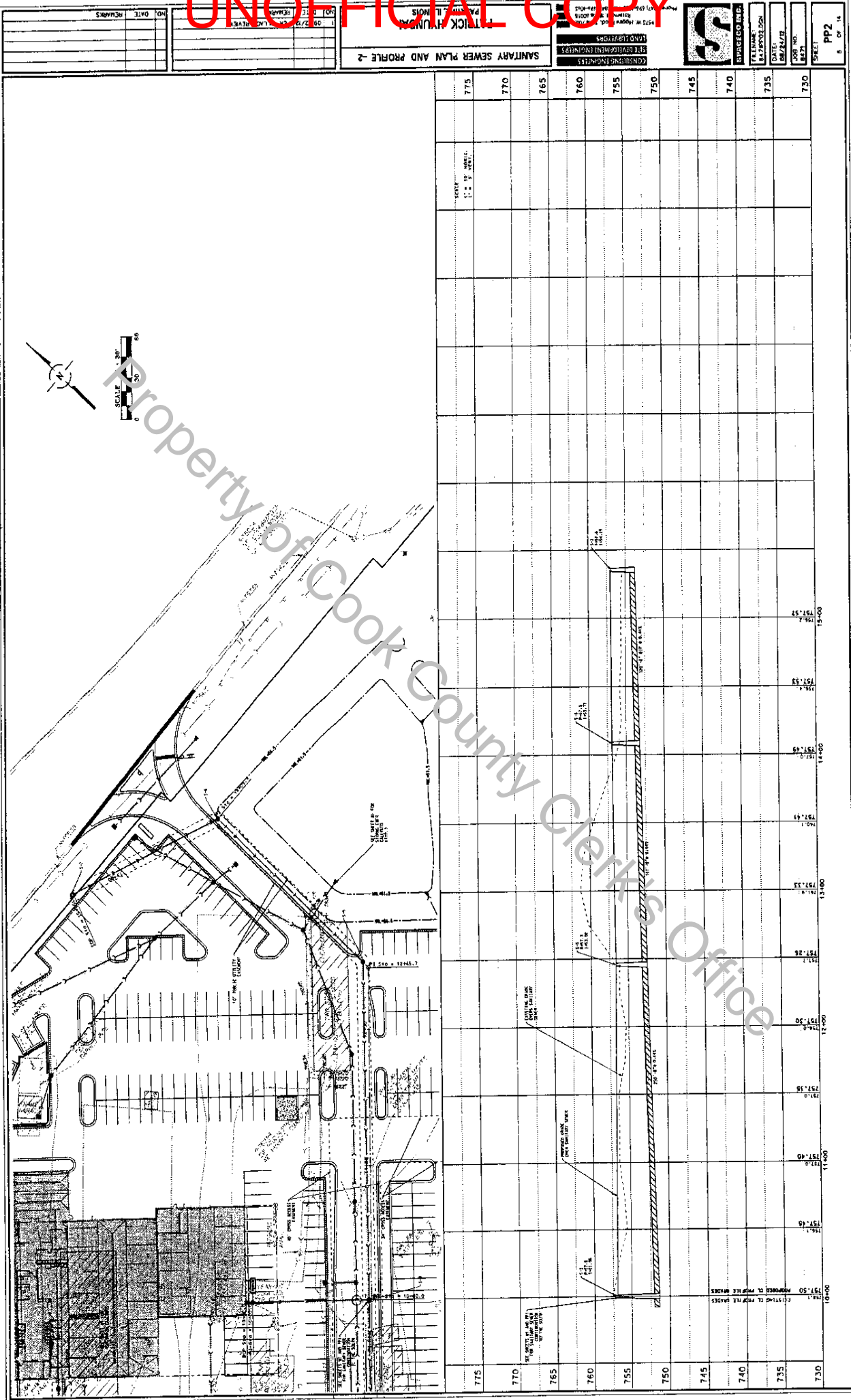
CONSTRUCTION ENGINEERS
 11111 11111 11111
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SHEET
 PP1
 7 OF 14

Property of Cook County Clerk's Office

Revised: 11/11/11

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NO.	DATE	REMARKS

NO.	DATE	REMARKS

CONSTRUCTED BY: [REDACTED]
 CHECKED BY: [REDACTED]
 DATE: [REDACTED]


CONSTRUCTED BY: [REDACTED]
 CHECKED BY: [REDACTED]
 DATE: [REDACTED]

SPRINGFIELD, ILL. 62761
 DATE: 08/24/19
 JOB NO. 1917
 SHEET PP2
 5 OF 14

Property of Cook County Clerk's Office

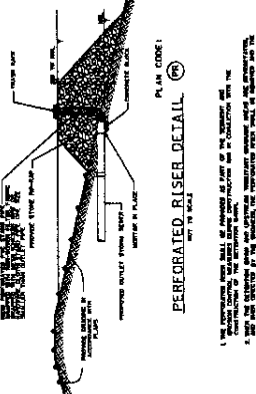
UNOFFICIAL COPY

NO. DATE				REVISIONS			
NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY	DATE
1	09/12/11	ISSUED FOR PERMITS	MATTHEW WATSON				

REGISTERED ENGINEERS CONSTRUCTIVE ENGINEERS 217 W. BROADWAY, SUITE 201 SAN ANTONIO, TEXAS 78207	 MATTHEW WATSON 2008000000 09/12/11 6871		SET 1 0 5 13
--	--	--	-----------------

SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE	TIME	WIND	TEMP	HUMID	WAVE	SEAS	VEG	REMARKS



PERFORATED RISER DETAIL
NOT TO SCALE

PLAN CODE: 10

1. THE PERFORATED RISER SHALL BE INSTALLED AS SHOWN AS PART OF THE CONSTRUCTION. THE PERFORATED RISER SHALL BE INSTALLED WITH THE FILTER FABRIC AND BACKFILL. THE PERFORATED RISER SHALL BE INSTALLED WITH THE FILTER FABRIC AND BACKFILL. THE PERFORATED RISER SHALL BE INSTALLED WITH THE FILTER FABRIC AND BACKFILL.

CONTRACTOR CERTIFICATION

I, _____, PROJECT MANAGER, CERTIFY THAT I AM THE PROJECT MANAGER AND I HAVE READ AND UNDERSTAND THE REQUIREMENTS OF THE PERMITS AND THE DESIGN. I HAVE SUPERVISED THE CONSTRUCTION OF THE PROJECT AND I HAVE INSURED THAT THE CONSTRUCTION IS IN ACCORDANCE WITH THE PERMITS AND THE DESIGN. I HAVE SUPERVISED THE CONSTRUCTION OF THE PROJECT AND I HAVE INSURED THAT THE CONSTRUCTION IS IN ACCORDANCE WITH THE PERMITS AND THE DESIGN.

PROJECT NO.: _____

PROJECT NAME: _____

DATE OF CONSTRUCTION: _____

OWNER: _____

ENGINEER: _____

DATE: _____

PROJECT MANAGER: _____

REGISTERED ENGINEER: _____

REGISTERED PROFESSIONAL ENGINEER NO.: _____

1. SOIL CONSERVATION

Soil conservation practices shall be implemented in accordance with the National Engineering Council for Construction Management (NECCM) Best Management Practices (BMP) for the state of Texas. The BMPs shall be implemented in accordance with the following table:

Practice	NECCM BMP Reference
Soil Conservation Practices	Table 1, NECCM BMP for the State of Texas
Erosion Control Practices	Table 2, NECCM BMP for the State of Texas
Sediment Control Practices	Table 3, NECCM BMP for the State of Texas

2. EROSION CONTROL

Erosion control practices shall be implemented in accordance with the National Engineering Council for Construction Management (NECCM) Best Management Practices (BMP) for the state of Texas. The BMPs shall be implemented in accordance with the following table:

Practice	NECCM BMP Reference
Erosion Control Practices	Table 2, NECCM BMP for the State of Texas
Sediment Control Practices	Table 3, NECCM BMP for the State of Texas

3. SEDIMENT CONTROL

Sediment control practices shall be implemented in accordance with the National Engineering Council for Construction Management (NECCM) Best Management Practices (BMP) for the state of Texas. The BMPs shall be implemented in accordance with the following table:

Practice	NECCM BMP Reference
Sediment Control Practices	Table 3, NECCM BMP for the State of Texas

4. CONSTRUCTION PRACTICES

Construction practices shall be implemented in accordance with the National Engineering Council for Construction Management (NECCM) Best Management Practices (BMP) for the state of Texas. The BMPs shall be implemented in accordance with the following table:

Practice	NECCM BMP Reference
Construction Practices	Table 4, NECCM BMP for the State of Texas

5. MONITORING AND MAINTENANCE

Monitoring and maintenance practices shall be implemented in accordance with the National Engineering Council for Construction Management (NECCM) Best Management Practices (BMP) for the state of Texas. The BMPs shall be implemented in accordance with the following table:

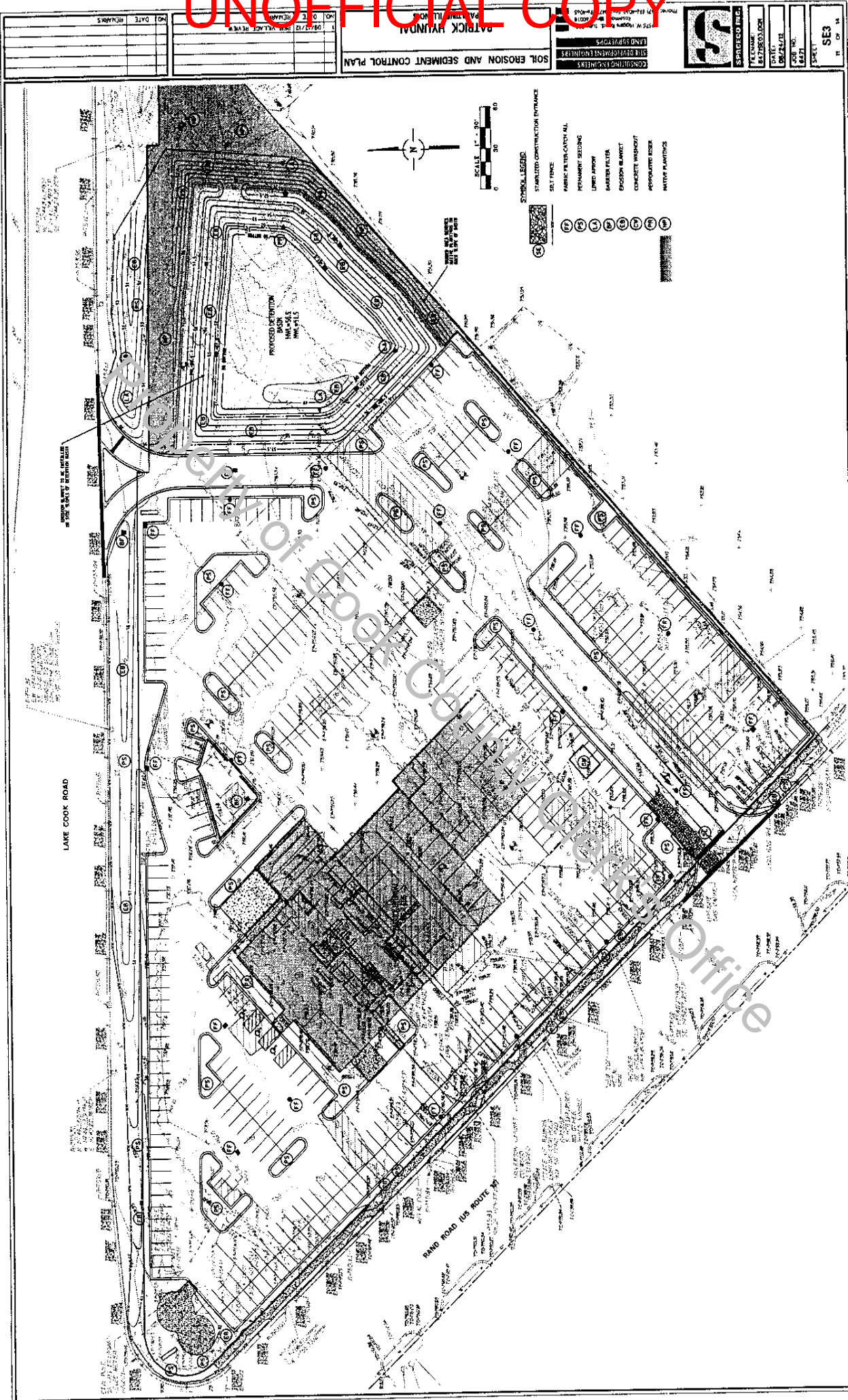
Practice	NECCM BMP Reference
Monitoring and Maintenance Practices	Table 5, NECCM BMP for the State of Texas

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<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">NO. 12</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td>NO. 11</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 10</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 9</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 8</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 7</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 6</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 5</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 4</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 3</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 2</td> <td>REVISIONS</td> </tr> <tr> <td>NO. 1</td> <td>REVISIONS</td> </tr> </table>	NO. 12	DATE	NO. 11	REVISIONS	NO. 10	REVISIONS	NO. 9	REVISIONS	NO. 8	REVISIONS	NO. 7	REVISIONS	NO. 6	REVISIONS	NO. 5	REVISIONS	NO. 4	REVISIONS	NO. 3	REVISIONS	NO. 2	REVISIONS	NO. 1	REVISIONS	<p style="text-align: center;">SOIL EROSION AND SEDIMENT CONTROL PLAN</p> <p style="text-align: right;">PATRICK HYUNDA PLANNING ENGINEERS</p> <p style="text-align: right;">157 W. HOWA STREET SUITE 100 SANTA ANA, CA 92701 TEL: (949) 433-1000 FAX: (949) 433-1001</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">CONTRACT NUMBER</td> <td style="width: 33%;">PROJECT</td> <td style="width: 33%;">SHEET</td> </tr> <tr> <td>SPALDES010103</td> <td>06/24/12</td> <td>SE2</td> </tr> <tr> <td>DATE</td> <td>JOB NO.</td> <td>NO.</td> </tr> <tr> <td>06/24/12</td> <td>04136207.DDP</td> <td>01</td> </tr> </table>	CONTRACT NUMBER	PROJECT	SHEET	SPALDES010103	06/24/12	SE2	DATE	JOB NO.	NO.	06/24/12	04136207.DDP	01	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">SE2</td> <td style="width: 50%; text-align: center;">SHEET</td> </tr> <tr> <td colspan="2" style="text-align: center;">NO. 01</td> </tr> </table>	SE2	SHEET	NO. 01	
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NO. 01																																										
<p>PIPE OUTLET TO PLAT AREA</p> <p>SECTION A-A</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>LANDSCAPE PROTECTION</p> <p>SECTION A-A</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>STABILIZED CONSTRUCTION ENTRANCE PLAN</p> <p>SECTION A-A</p> <p>SECTION B-B</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>STABILIZED CONSTRUCTION ENTRANCE PLAN</p> <p>SECTION A-A</p> <p>SECTION B-B</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>SILT FENCE PLAN</p> <p>ELEVATION</p> <p>FABRIC INSTALLATION DETAILS</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>BLANKET INSTALLATION DETAILS</p> <p>SECTION A-A</p> <p>SECTION B-B</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>STABILIZED CONSTRUCTION ENTRANCE PLAN</p> <p>SECTION A-A</p> <p>SECTION B-B</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>STABILIZED CONSTRUCTION ENTRANCE PLAN</p> <p>SECTION A-A</p> <p>SECTION B-B</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>	<p>STABILIZED CONSTRUCTION ENTRANCE PLAN</p> <p>SECTION A-A</p> <p>SECTION B-B</p> <p>PLAN CODE: (C)</p> <p>1. This structure is to be constructed of concrete. The concrete shall be finished with a smooth finish. The structure shall be constructed to the following specifications: a. The concrete shall be finished with a smooth finish. b. The concrete shall be finished with a smooth finish. c. The concrete shall be finished with a smooth finish.</p>																																		

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DETAILS - 1

NO. DATE REVISIONS

CONTRACTING ENGINEERS

ENGINEERING FIRM

DATE

PROJECT NO.

SHEET NO.

D1

STANDARD CATCHBASIN

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
3. ALL FITTINGS SHALL BE CAST IRON.
4. ALL FITTINGS SHALL BE CAST IRON.
5. ALL FITTINGS SHALL BE CAST IRON.

STANDARD MANHOLE

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
3. ALL FITTINGS SHALL BE CAST IRON.
4. ALL FITTINGS SHALL BE CAST IRON.
5. ALL FITTINGS SHALL BE CAST IRON.

CAST IRON STEPS

MANHOLE STEPS

SECTION A-A

SHARP EDGE RESTRICTOR PLATE DETAILS

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
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4. ALL FITTINGS SHALL BE CAST IRON.
5. ALL FITTINGS SHALL BE CAST IRON.

SPECIAL INLET

SECTION A-A

SECTION B-B

VALVE VAULT

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
3. ALL FITTINGS SHALL BE CAST IRON.
4. ALL FITTINGS SHALL BE CAST IRON.
5. ALL FITTINGS SHALL BE CAST IRON.

PRESSURE CONNECTION BASIN

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
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FIRE HYDRANT

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
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4. ALL FITTINGS SHALL BE CAST IRON.
5. ALL FITTINGS SHALL BE CAST IRON.

SEWER/WATER MAIN CROSSING

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
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4. ALL FITTINGS SHALL BE CAST IRON.
5. ALL FITTINGS SHALL BE CAST IRON.

STANDARD THRUST BLOCK DETAILS

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
2. ALL FITTINGS SHALL BE CAST IRON.
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PLUGGED CROSS

NOTES:

1. ALL FITTINGS SHALL BE CAST IRON.
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ADJUSTING CROSS

NOTES:

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5. ALL FITTINGS SHALL BE CAST IRON.

TABLE

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SECTION A-A

SECTION B-B

DETAILED VIEW

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CUSTOM ARCHITECTS
 1000 N. WILSON AVENUE
 SUITE 100
 CHICAGO, IL 60642
 TEL: 312.281.1111
 WWW.CUSTOMARCHITECTS.COM

Proposed Project for:
 Patrick Hyundai
 New Car Dealership

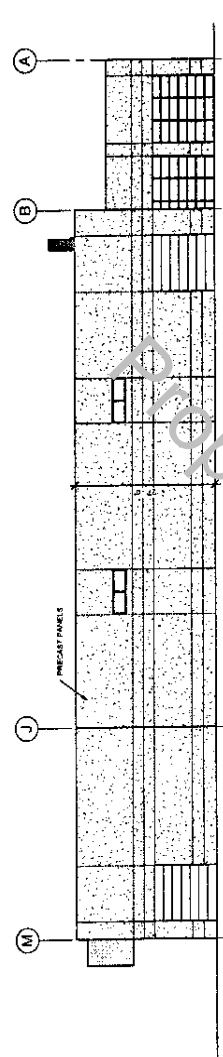
08/15/13
 ARCHITECT'S SEAL
 ARCHITECT
 K. J. ...

Project No.: 1108
 Checked By:
 Date:

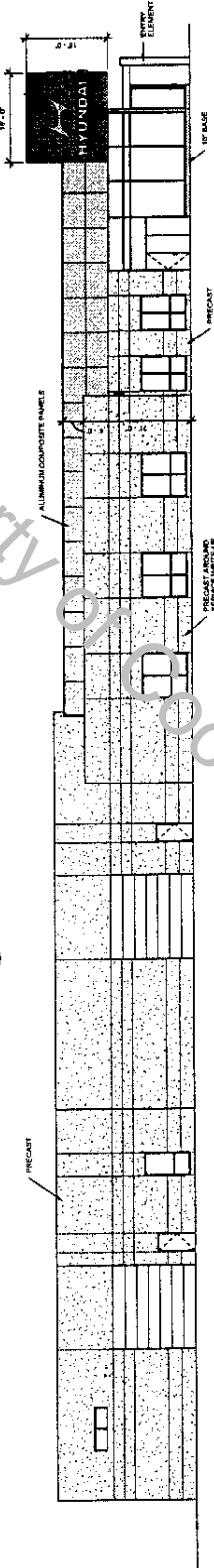
DO NOT SCALE DRAWINGS
 ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE SPECIFIED
 DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE

Elevations
 Exterior

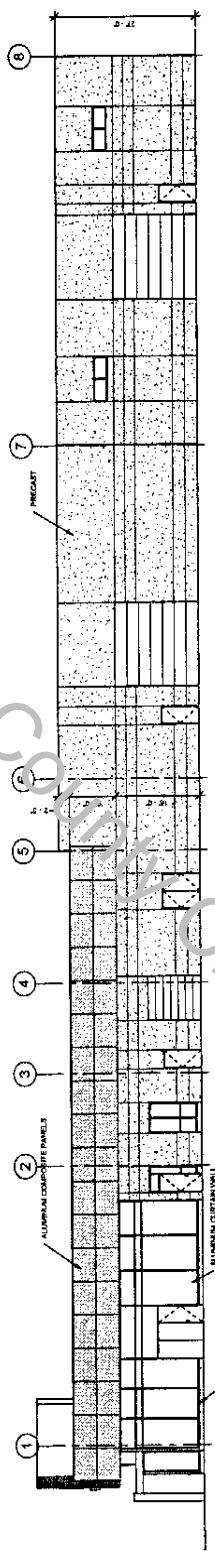
A4-1



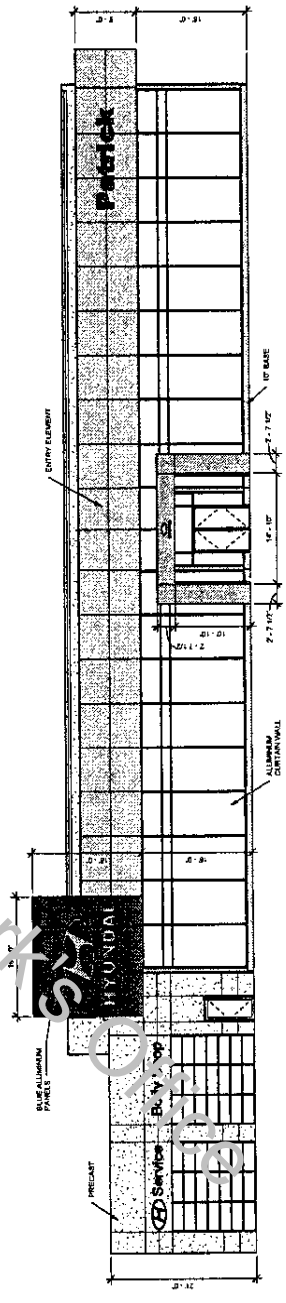
1 East Elevation
 3/22' x 1/8"



2 North Elevation
 3/22' x 1/8"



3 South Elevation
 3/22' x 1/8"



4 West Elevation
 1/8" x 1/8"

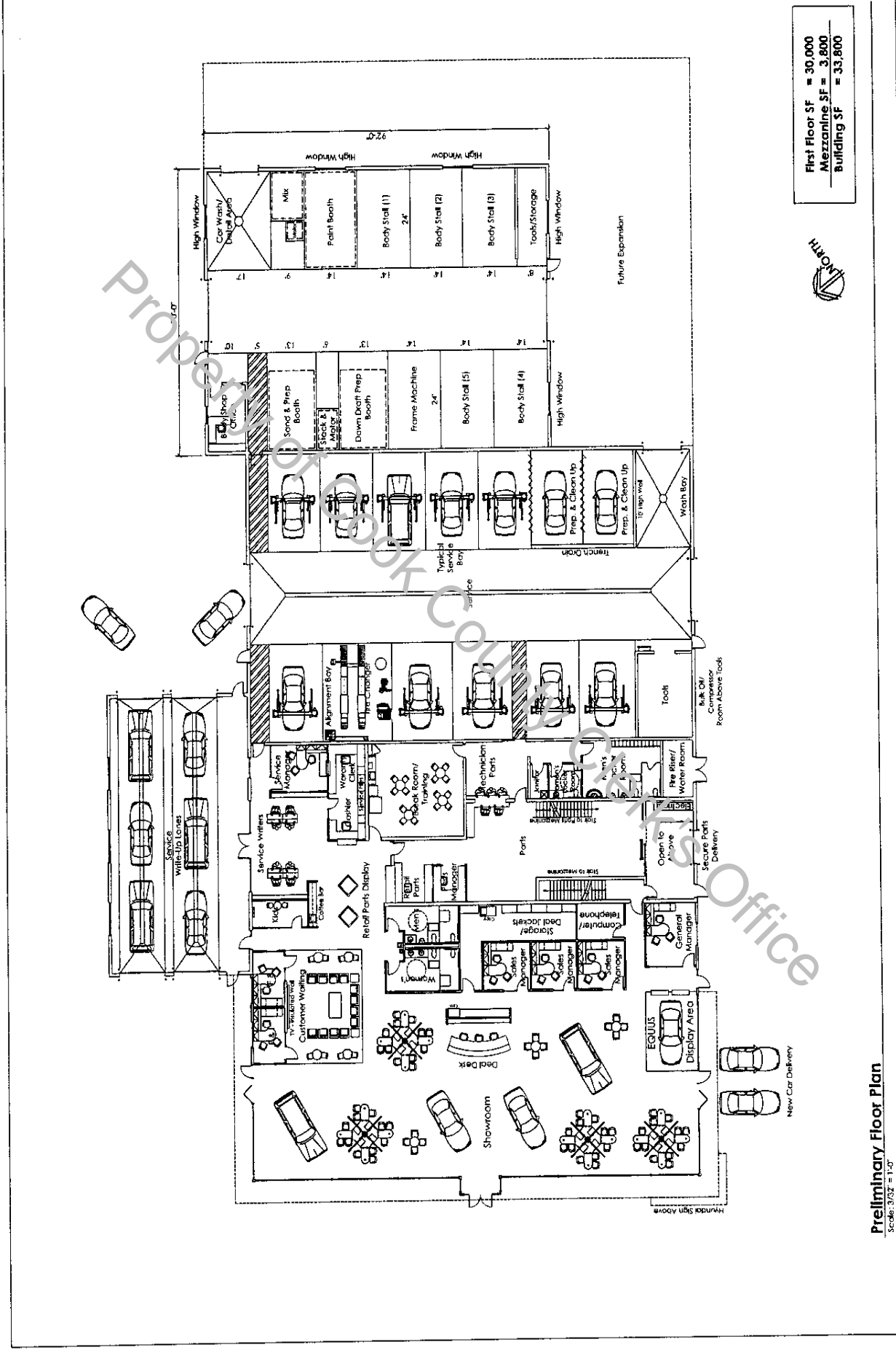
9/7/2012 1:23:57 PM

UNOFFICIAL COPY

<p>DATE: 03/27/2017 DRAWN BY: CHEN CHECKED BY: CHEN</p>		<p>DESIGN: 100% CONSTRUCTION: 0% PERMITS: 0%</p>	<p>PROJECT: CUSTOMER FACILITIES ADDRESS: 11111 N. STATE ST. CITY: CHICAGO, IL 60641 PHONE: (773) 555-1234</p>	<p>CLIENT: PATRICK HYUNDAI ADDRESS: 11111 N. STATE ST. CITY: CHICAGO, IL 60641 PHONE: (773) 555-1234</p>
<p>NO. 100% DESIGN NO. 0% CONSTRUCTION NO. 0% PERMITS</p>				

Patrick Hyundai
 New Car Dealership
 Palatine, Illinois

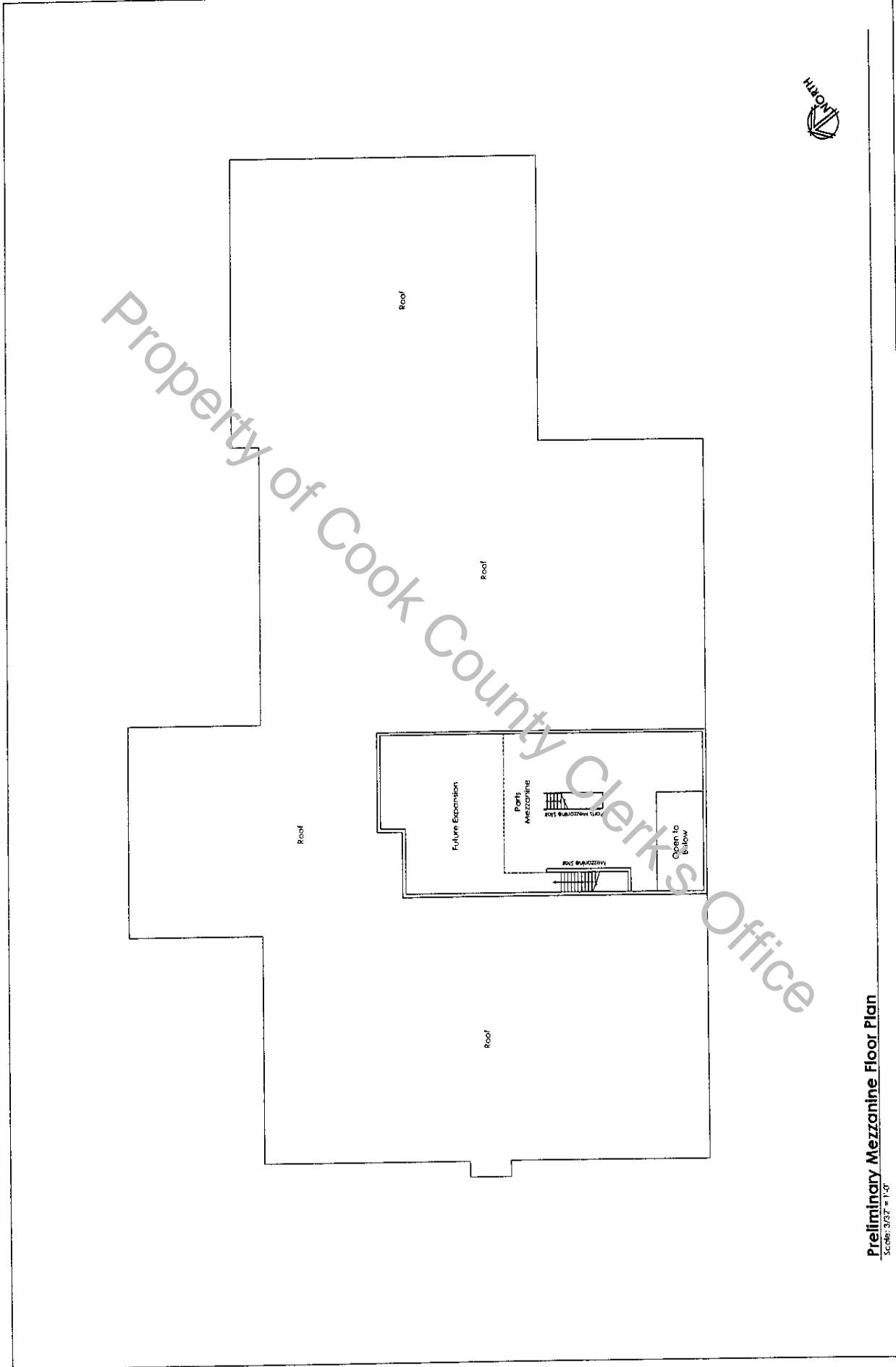
PR2
 03/27/2017



Preliminary Floor Plan
 Scale: 3/32" = 1'-0"

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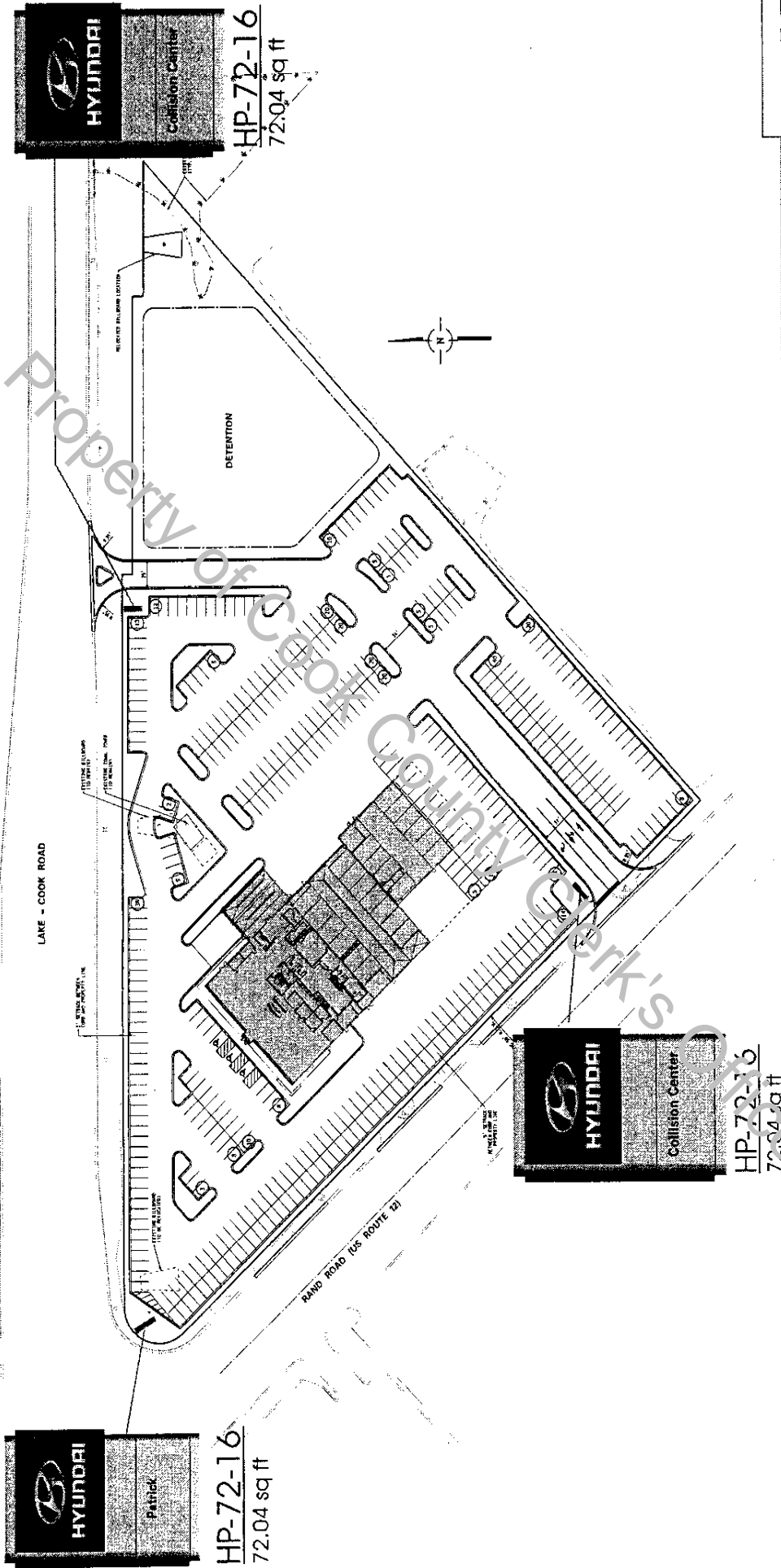
Patrick Hyundai New Car Dealership Palatine, Illinois		PR3 Preliminary Copyright © 2013
CUSTOM FACILITIES Custom Facilities Inc. 1000 W. Lake Street Suite 100 Palatine, IL 60067 www.customfacilities.com		
Drawing No. 3013 Division No. 1000 Character No. 1000 Date 11/11/13 By [Signature] Description	CUSTOM FACILITIES 1000 W. Lake Street Suite 100 Palatine, IL 60067 www.customfacilities.com	



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Preliminary Mezzanine Floor Plan
Scale: 3/32" = 1'-0"

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AGI
 Architectural Graphics, Inc.
 2646 Lakeside Drive, Virginia Beach, VA 23462
 PH: 757.459.4321 FAX: 757.459.4322
 www.AGI.com

Drawn by: MAR

AGI Rep: JWB

Project Title:

Scale: NTS

Date Revised:

Location:

Survey ID:

Date: 8/24/12

Site ID: Patrick Hyundai, Palatine



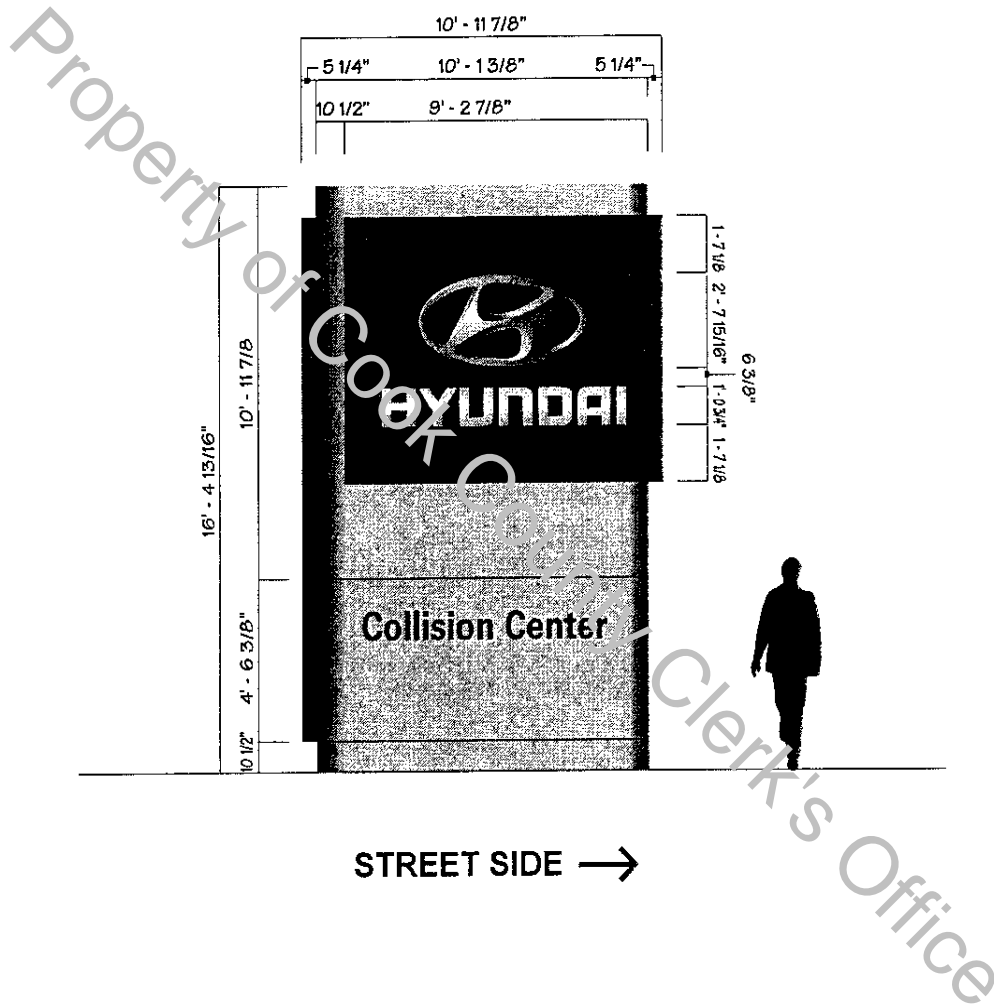
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PYLONS



Dealer Name Text will vary.

HP-72-16

72.04 sq ft



The final sign location is to be determined by the authority having jurisdiction. The approved location may vary from what is depicted in the rendering.

Site ID: Hyundai		Drawn by: MAR
	AGI Rep: JWB	<small>This document is the sole property of Architectural Graphics, Inc., and all design, manufacturing, reproduction, use and sale rights regarding the same are expressly forbidden. It is submitted under a confidential relationship, for a special purpose, and the recipient, by accepting this document assumes custody and agrees that this document will not be copied or reproduced in whole or in part, nor its contents revealed in any manner or to any person except for the purpose for which it was rendered, nor any special features herein in this design be incorporated in other projects.</small>
	Scale: 3/16"=1'	
	Date: 6/28/11	
		Architectural Graphics, Inc. 2655 International Pkwy., Virginia Beach, VA 23452 PHONE (757) 427-1900 - Fax (757) 436-1297 www.AGISign.com

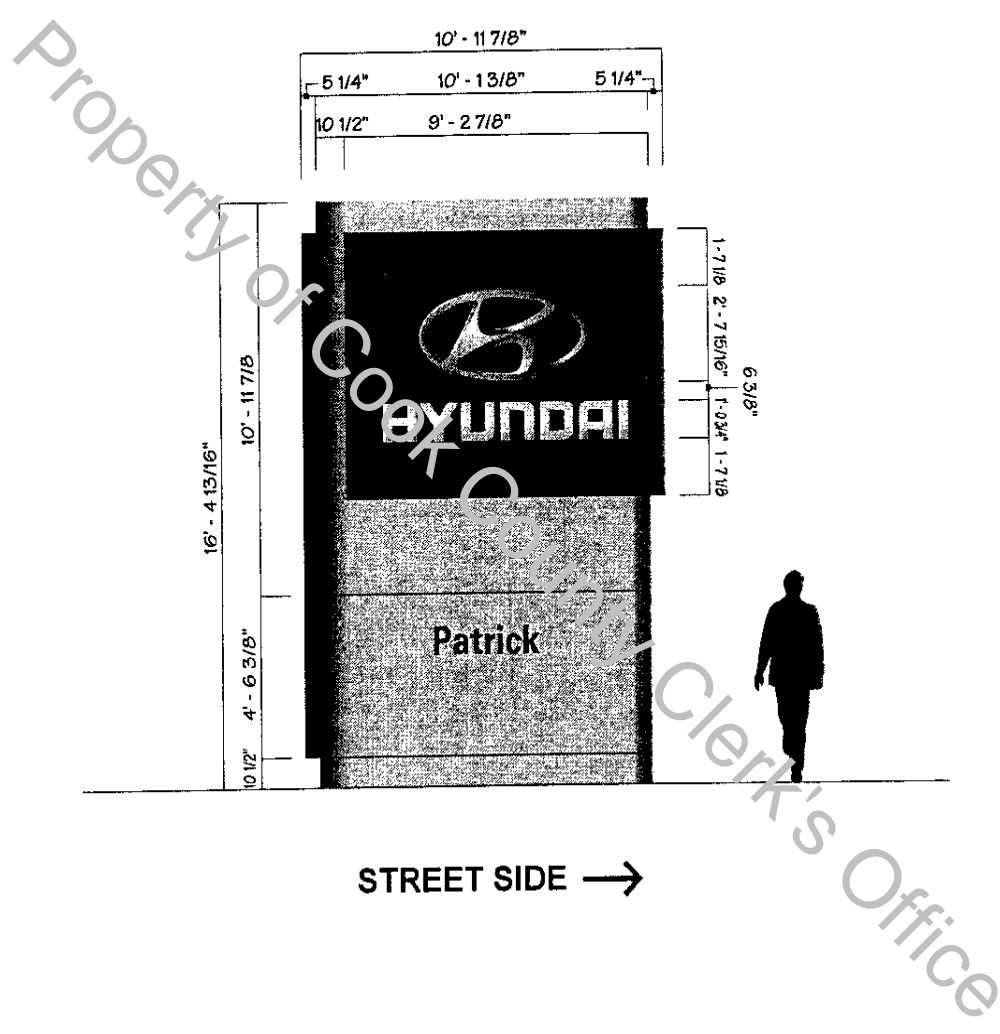
UNOFFICIAL COPY

PYLONS

Dealer Name Text will vary.



HP-72-16

72.04 sq ft



STREET SIDE →

The final sign location is to be determined by the authority having jurisdiction. The approved location may vary from what is depicted in the rendering.

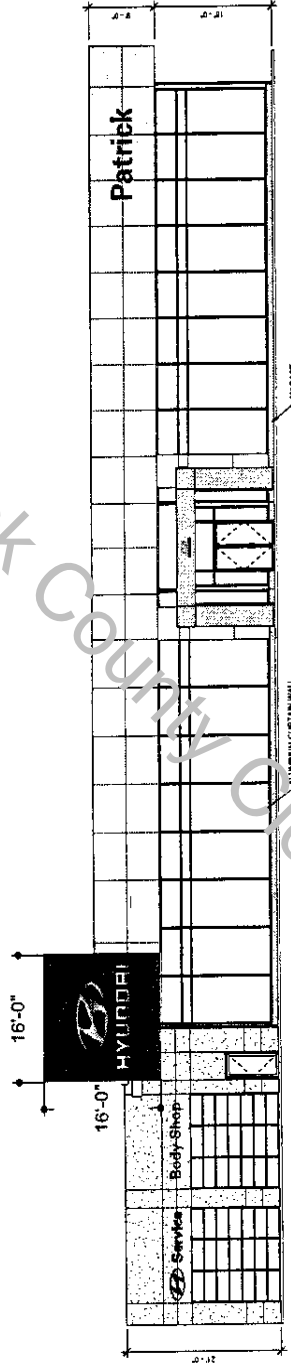
Site ID: Hyundai	Drawn by: MAR	 <p>Architectural Graphics, Inc. 2655 International Pkwy., Virginia Beach, VA 23452 PHONE (757) 427-1900 - Fax (757) 430-1297 www.AGISign.com</p>
	AGI Rep: JWB	
Scale: 3/16"=1'	Date: 6/28/11	

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North Elevation



West Elevation

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Site ID: Patrick Hyundai, Palatine 	Location:	AGI Rep: JWB	Drawn by: MAR	 Architectural Graphics, Inc. 2435 Eisenhower Pkwy, Virginia Beach, VA 23462 PHONE: (991) 497-1600 Fax: (757) 496-1700 www.agi-graphics.com
	Survey ID:	Project Title:	This drawing is the property of AGI Architectural Graphics, Inc. It is to be used only for the project and location specified on the title block. It is not to be reproduced, copied, or used for any other project without the written consent of AGI.	AGI Rep: JWB
	Date: 8/24/12	Scale: 1/16"=1'	Date Revised:	Project Title:

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NOVUS DESIGN
Landscape Architecture
540 Duane Street
Chgo. Ill. 60617
P 630.547.9172
F 630.790.2204
www.novus-design.com

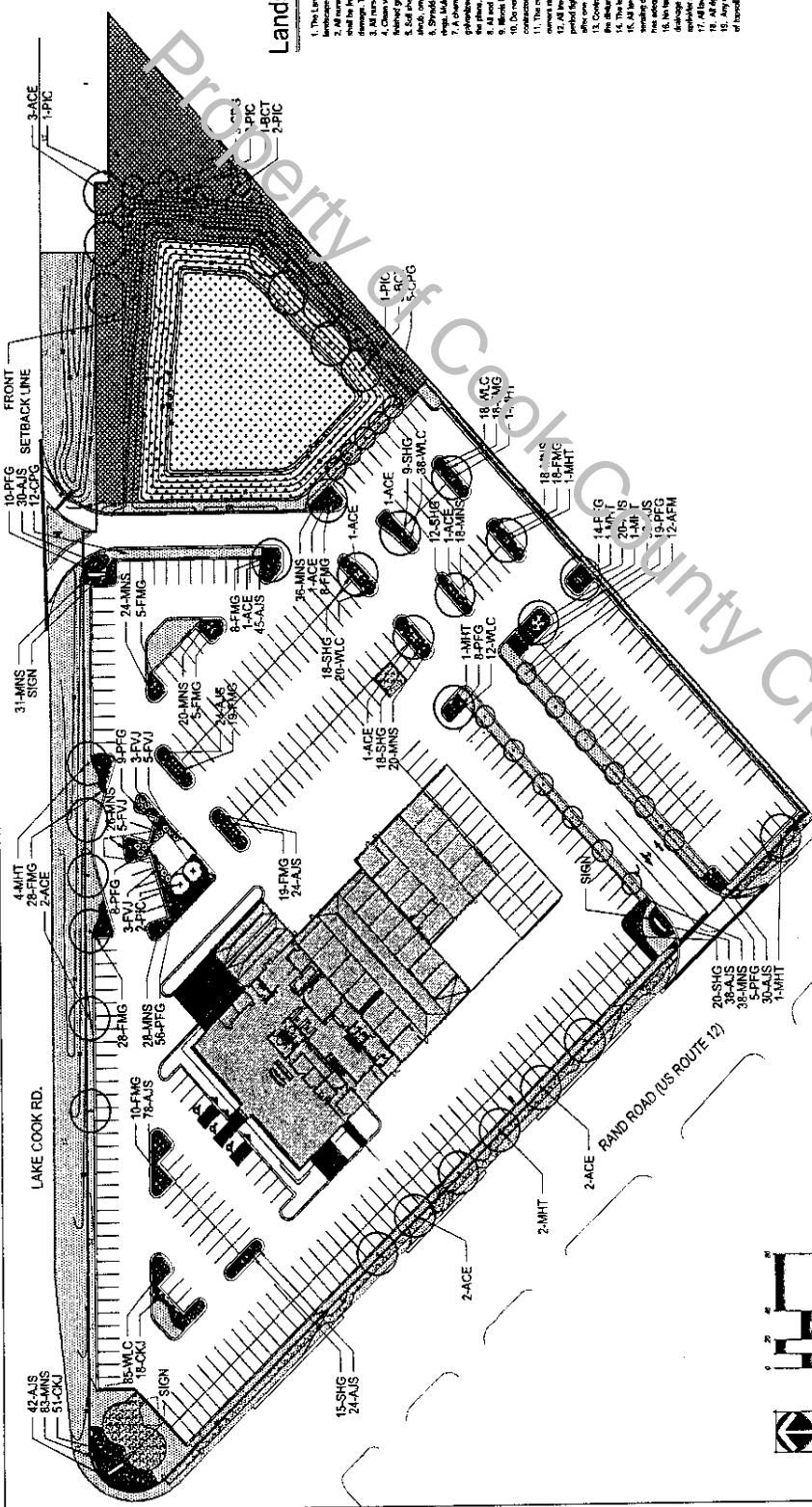
PATRICK HYUNDAI

Owner:
THE HYUNDAI MOTOR GROUP
520 MALDEN RD.
SPRINGFIELD, IL 62761-5712
618.762.7973

Issue Date	09/25/22
Revision Date	09/25/22 RELEASE REV
Revision Description	09/25/22 RELEASE REV
Sheet Title	Landscape Plan
Sheet Number	L-1

Landscape and Planting Notes

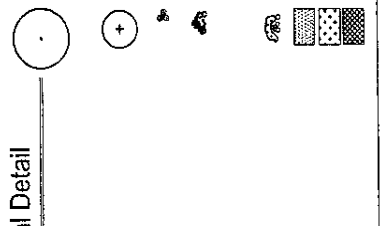
1. The Landscape Contractor shall be responsible for identifying materials and plants shown on the landscape plan.
2. All nursery stock will be well treeshed, healthy, full of buds and without any defects. Deadwood three feet below the ground line will be removed if necessary to prevent stem rot and insect infestation.
3. All nursery stock will be guaranteed by the contractor for one year from date of final inspection.
4. Cleanable curb will be provided and graded by the General Contractor up to 6 inches below finished grade in lot areas and 18 inches in parking areas.
5. Lot shall be amended with 35% organic peat moss, 15% humus and 85% substrate soil for all trees, shrubs and perennials.
6. Shaded horizontal mulch shall be applied three inches thick to all planting beds, and all tree rings, which shall not contain any logs or other debris.
7. A standard weed preventative granular shall be applied to all exposed mulch areas, 1/4" x 1/4" size, in a 4" wide band around all trees and shrubs.
8. All areas shall be worked with 20/10 Manganese Iron soil.
9. All trees shall be watered with 20/10 Manganese Iron soil.
10. All shrubs and perennials shall be watered with 20/10 Manganese Iron soil.
11. The contractor shall report any discrepancies in plant, soil conditions in writing immediately to the owner representative prior to conducting any portion of the work.
12. The contractor shall provide a list of all plants and their quantities to the owner prior to planting.
13. The contractor shall provide a list of all plants and their quantities to the owner prior to planting.
14. The contractor shall be responsible for transplanting the root break line existing for during the edge of the driveway.
15. All landscape irrigation equipment shall be installed with a backflow preventer or a full backflow prevention device which overrules the high-pressure cycle of the turbine system when it starts under the soil line.
16. The contractor shall provide a list of all plants and their quantities to the owner prior to planting.
17. All trees and shrubs shall be watered with approved landscape fertilizer.
18. All shrubs and perennials shall be watered with approved landscape fertilizer.
19. All perennials shall be watered with approved landscape fertilizer.
20. All ground covers shall be watered with approved landscape fertilizer.
21. All plants shall be watered with approved landscape fertilizer.
22. All plants shall be watered with approved landscape fertilizer.
23. All plants shall be watered with approved landscape fertilizer.
24. All plants shall be watered with approved landscape fertilizer.
25. All plants shall be watered with approved landscape fertilizer.



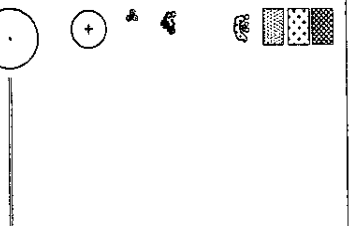
Plant List

Qty	Sym.	Common Name	Botanical Name	Planting Site
15	ACE	ACQUEDUCCO	Ulmus glaberrimus	2 EXISTENTIAL LANE
2	AMG	AMERICAN REDWOOD	Sycamore sp. "American Redwood"	3 EXISTENTIAL LANE
2	AMG	AMERICAN REDWOOD	Sycamore sp. "American Redwood"	4 EXISTENTIAL LANE
2	AMG	AMERICAN REDWOOD	Sycamore sp. "American Redwood"	5 EXISTENTIAL LANE
2	AMG	AMERICAN REDWOOD	Sycamore sp. "American Redwood"	6 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	7 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	8 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	9 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	10 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	11 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	12 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	13 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	14 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	15 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	16 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	17 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	18 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	19 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	20 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	21 EXISTENTIAL LANE
1	ACE	ACQUEDUCCO	Ulmus glaberrimus	22 EXISTENTIAL LANE
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1	ACE	ACQUEDUCCO	Ulmus glaberrimus	50 EXISTENTIAL LANE

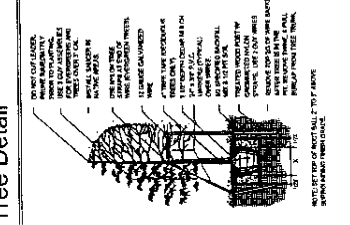
Grass and Perennial Detail



Shrub Detail

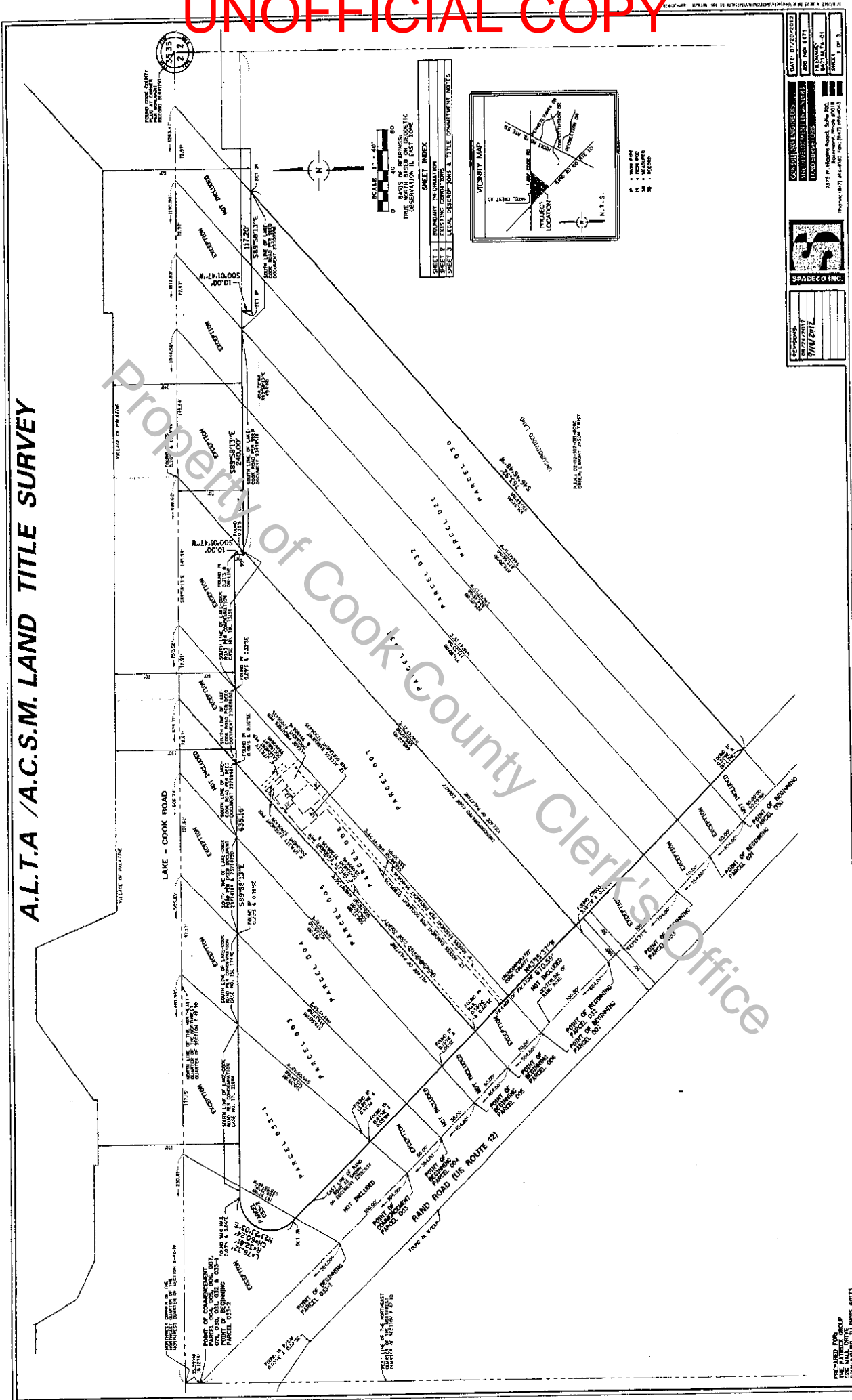


Tree Detail



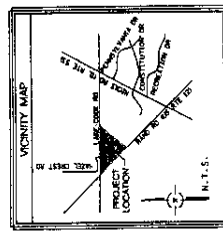
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A.L.T.A / A.C.S.M. LAND TITLE SURVEY



SHEET INDEX

SHEET 1	BOUNDARY CONDITIONS
SHEET 2	EXISTING CONDITIONS
SHEET 3	LEGAL DESCRIPTIONS & TITLE COMMITMENT NOTES



DATE: 07/20/2010
 JOB NO: 1077
 PROJECT: A.L.T.A / A.C.S.M. LAND TITLE SURVEY
 SHEET: 1 OF 3

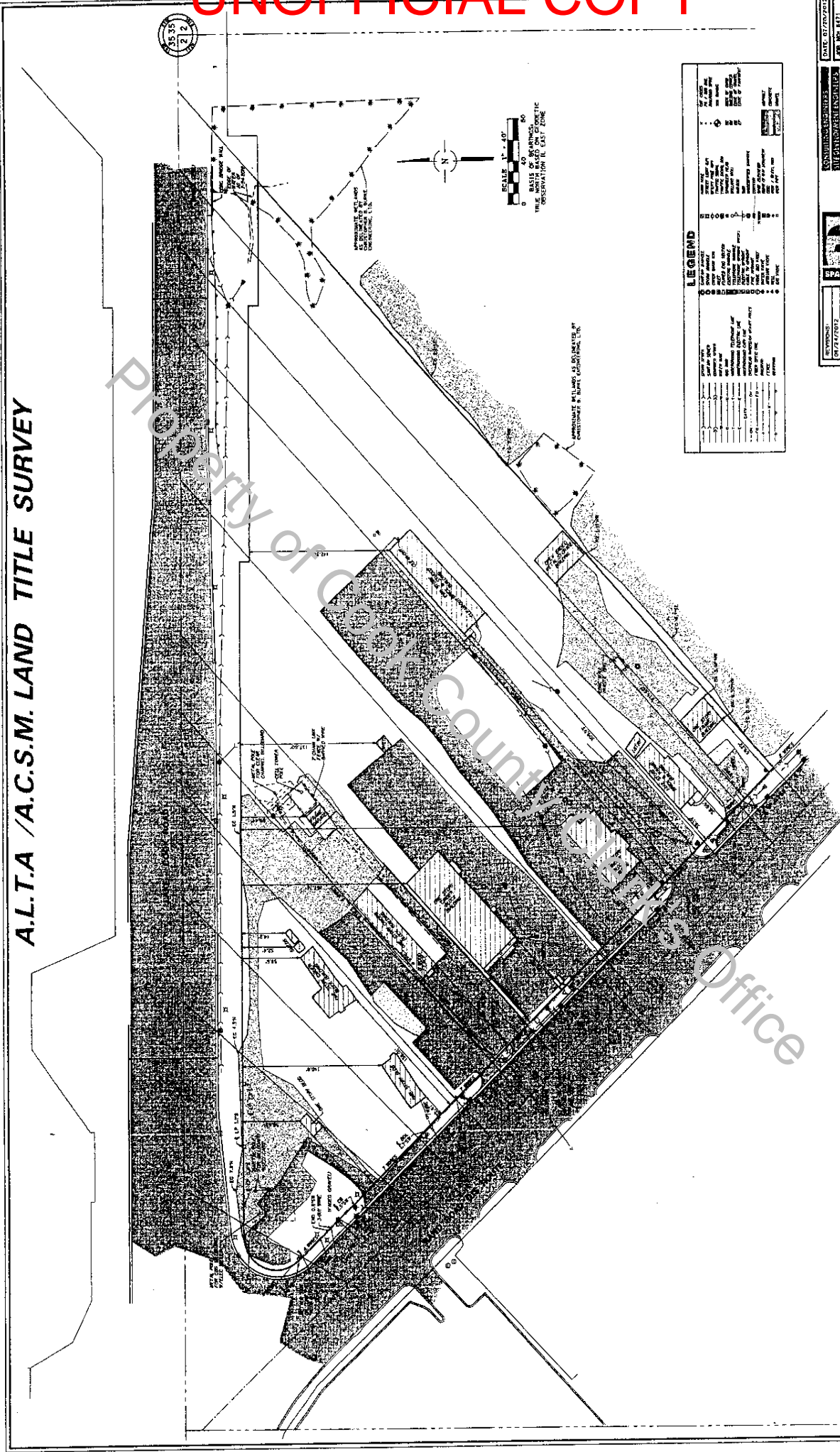
SPAGECO INC.
 11777
 7/11/2011

8775 W. Higgins Road, Suite 2011
 Rosemont, IL 60018
 Phone: (630) 941-8487 Fax: (630) 941-8404

PREPARED BY:
 THE ATTORNEY GENERAL
 STATE OF ILLINOIS

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A.L.T.A / A.C.S.M. LAND TITLE SURVEY



LEGEND

---	Property Boundary
---	Survey Boundary
---	Adjacent Property Boundary
---	Adjacent Survey Boundary
---	Adjacent Property Boundary (Not Surveyed)
---	Adjacent Survey Boundary (Not Surveyed)
---	Adjacent Property Boundary (Not Surveyed) - Easement
---	Adjacent Survey Boundary (Not Surveyed) - Easement
---	Adjacent Property Boundary (Not Surveyed) - Easement - Right of Way
---	Adjacent Survey Boundary (Not Surveyed) - Easement - Right of Way
---	Adjacent Property Boundary (Not Surveyed) - Easement - Right of Way - Right of Access
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DATE 01/27/2013
JOB NO. 1431
PROJECT A.L.T.A / A.C.S.M.
SHEET 2 OF 3

REGISTERED ENGINEERS
ILLINOIS ENGINEERS
LAND SURVEYORS

973 N. High Road, Suite 200
 Peoria, IL 61604
 Phone: (317) 999-4444 Fax: (317) 999-4444

SPACECO INC.

REVISIONS

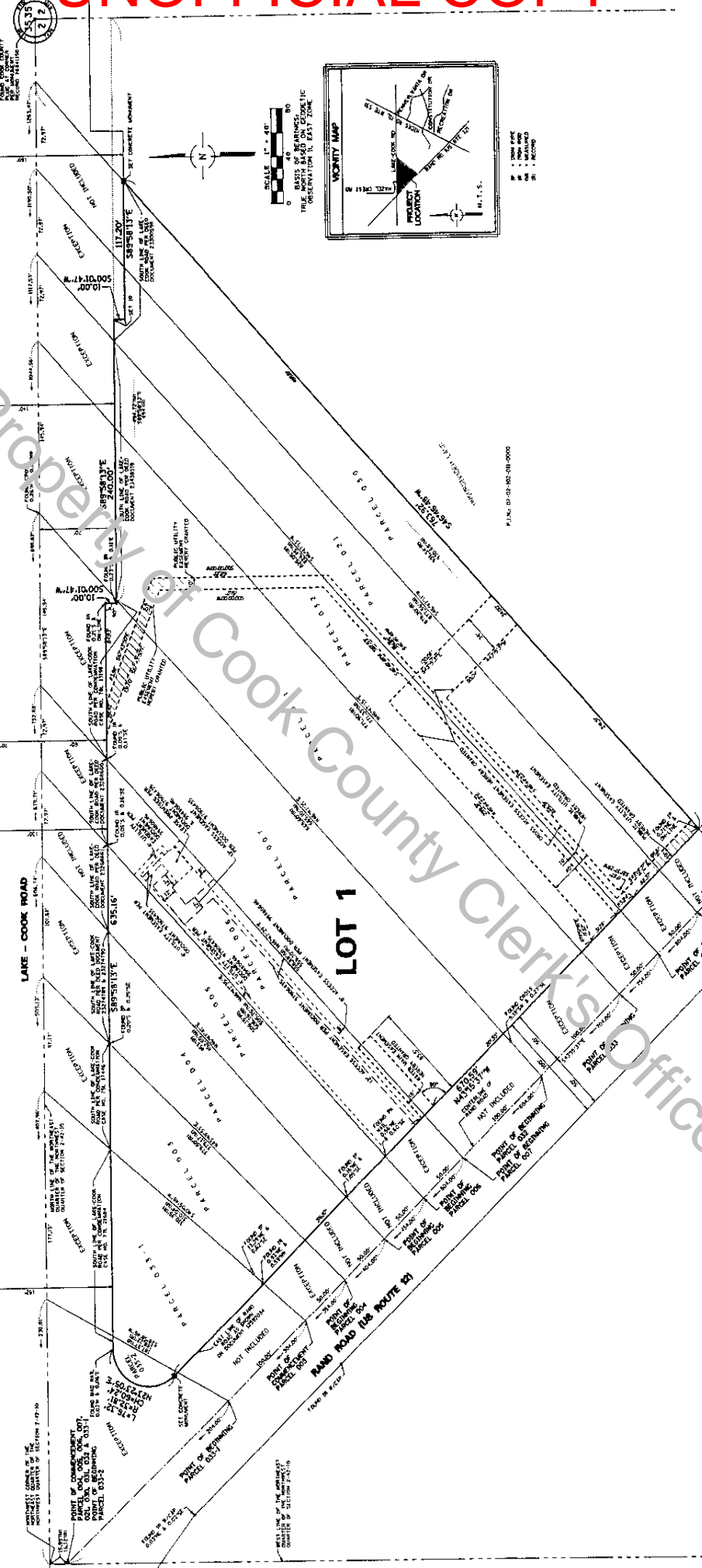
NO.	DATE	DESCRIPTION
1	01/27/2013	Initial

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PATRICK HYUNDAI SUBDIVISION

BEING A SUBDIVISION OF THAT PART OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 01 EAST, 5E, THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

Property of Cook County Clerk's Office



DATE: 08/22/2012	CONVENTIONAL ENGINEER
DWG NO: 6411	REGISTERED PROFESSIONAL ENGINEERS
F.A. NAME: S. J. LEVINE	NO. 122002
SCALE: AS SHOWN	STATE OF ILLINOIS
SHEET 35 OF 35	



FOR REVIEW PURPOSES ONLY

THE PATRICK GROUP
2301 WASHINGTON, ILLINOIS 60173

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Patrick Hyundai Palatine, LLC

Rand Road Property, Inc.

Southeast Corner of Rand Road and Lake Cook Road, Palatine, IL

Preliminary and Final Planned Development

Application Checklist, Item 7

Project Narrative: Patrick Hyundai Palatine, LLC (“Patrick Hyundai”) and Rand Road Property, Inc. (sometimes referred to together as the “Developer”) will shortly enter into a redevelopment agreement with the Village of Palatine as approved by Village Council on August 20, 2012 (the “RDA”) pursuant to which the Developer will construct and operate a state of the art automobile Hyundai automobile sales and service facility designed and constructed to carefully considered Developer and Hyundai Standards. The Developer is led by father and son, Hanley Dawson III and Hanley Dawson IV. Hanley Dawson III has been in the dealership business since 1967; Hanley Dawson IV since 1994. Together they operate the Patrick Dealer Group (“Patrick”) with eight successful franchises located in Schaumburg and Naperville.

The financial, sales and other management positions at Patrick are held by long-time executives who are universally excited about the continued growth of Patrick with the establishment of the new Hyundai franchise in Palatine. Hours of operation will be 7:30 am to 9:00 pm Monday through Friday, 8:00 am to 6:00 pm on Saturday, and none on Sunday. Patrick Hyundai will bring approximately 30 to 35 new jobs to the Village of Palatine.

Patrick Hyundai will be a “de novo” dealership, as the Hyundai brand has never been represented in Palatine. Hyundai has expressed the goal of establishing a dealership in Palatine for several years, and this is an opportunity to bring that goal to fruition. As a de novo dealership, there will be no initial base of service and parts business (referred to as “fixed coverage”) which is the financial foundation of every dealership. That is the reason the TIF assistance from Palatine is essential to make this project work. That is also the reason that Patrick Hyundai will have a body shop which helps the fixed coverage grow more rapidly. Revenue in the first full twelve months of operations is expected to be generated from sales of approximately 1,700 new Hyundai automobiles and 1,440 used automobiles. Substantial additional revenue will be generated over time by providing service, collision and other services, and by associated sale of parts. Employment and revenue is projected to grow rapidly as business develops. The establishment of Patrick Hyundai will begin the transformation of the north end of Rand Road in Palatine into a commercial environment that takes advantage of local assets, creating a unified development for new investment, and establish a positive image for Palatine’s northern gateway.

The Developer has spent substantial time, effort, and money to assemble nine separate parcels of real estate consisting of six plus acres of property set forth in the RDA (the “Property”) to make this project possible. It should also be noted that due to the perseverance and significant additional costs incurred by the Developer it has not been

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necessary for the Village of Palatine to exercise eminent domain or otherwise participate in a very complex aggregation. Importantly, the Village of Palatine and the RDA recognize and permit the Property to remain subject to two (2) billboard leases and one (1) cell tower lease as further described herein. The first billboard lease is with CBS Outdoor and currently terminates April 30, 2021, but the RDA provides for a limited lease extension in order to gain agreement, among other issues, on relocating the billboard to one or more of the locations proposed in the site plans submitted herewith. The Property is additionally subject to a billboard lease with Clear Channel through August 31, 2028. Lastly, the property is subject to a cell tower lease with STC TWO LLC through February 25, 2053, in connection with which the RDA provides that the Developer shall have complete control and discretion in regard to buying out, relocating or continuing "as is" such tenancy subject to applicable provisions and requirements of the Village Code of Ordinances and that any relocation shall be approved and permitted by the Village.

Clearly, development of a project of this scale is not undertaken lightly and the team tasked with planning and constructing the new facility was chosen with great care. In addition to the Village of Palatine, all development and construction details will be overseen by Hyundai Motor America and a construction monitor assigned by the selected lender. Custom Facilities, Inc. of Indianapolis, Indiana ("CFI"), has undertaken the site plans and building elevations which accompany this application. For nearly forty years, CFI has provided design/build, construction management, and general contracting services to automobile dealers throughout the United States. CFI's automotive specialty has been developed through more than 400 successful projects including Hyundai image facilities in the greater Chicago area as well as the Toyota and Acura dealerships in Palatine. The personal involvement of CFI President, Rod DeRoy, who has more than 44 years of experience in commercial automotive design/build, along with the multiple dealership experiences of CFI's project managers, allow CFI to assist in fully controlling project cost, quality, and schedule. Engineering is being provided by Spaceco, Inc., universally recognized for its expertise in complex construction projects.

The proposed development will utilize approximately 5 acres of the Property with a little over an additional acre being available for future expansion. The building to be constructed will include a total of approximately 33,500 square feet (partially 2 floors), consistent with the site plans and building elevations submitted herewith. Rough breakdowns on space are 9,700 square feet for car sales and offices, 18,200 square feet for service and parts, and 5,600 square feet for body shop. The site plans also reflect the parking, signage, lighting and landscaping which are critical to the operational effectiveness of the site and the aesthetic qualities essential for integration within the community. Parkways along Rand and Lake Cook Roads will include suitable landscaping with islands of flowers, ornamental rock, and low growing shrubs and plantings which will be subject to approval by Village staff. Of course, the current miscellaneous buildings on the site will be removed and any further details of the construction and site modifications necessary for the Developer's business operation will be fully coordinated with, and subject to the approval of, Village staff through the permitting process.

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The Developer anticipates that all deliveries of parts, supplies and vehicles (individual cars and multi-car truck shipments) will occur on the southeast portion of the Property and all such delivery flow is anticipated in the plans included herewith and the detailed delivery schedule attached hereto as Exhibit A.

Both the Village of Palatine and the Developer are making an immense investment in the redevelopment of the Rand Road corridor. The Developer is extremely confident that this team, this location and this business will add up to a great success for the project and the community.

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Exhibit A

Truck Delivery Details

The information below is necessarily based on our Hyundai facility in Schaumburg. The delivery traffic at the Palatine store will increase in proportion to the increase in total new and used cars moved through the facility and the increase in volume of service business performed. If and when it becomes necessary, the Developer will work with the Village to coordinate deliveries in a manner acceptable to Village staff.

Hyundai vehicle car carrier (new); auction carrier (used)	Hyundai Parts – Semi Trailer	Patrick Hyundai Parts Vans / Pickups	All other vendors (garbage, oil products, UPS/DHL, uniform)
Mon-Fri 8am-7pm	Tue Sat 4 a.m.	Mon-Fri 6:30 am ~ 4:30 pm	Mon-Fri 8am-6pm
Seasonal. 125-175 new; 100-140 used per month.	1 X per day	7 vehicles in/out with deliveries daily	Garbage 3 X wk Oil 2 X wk Uniforms 1 X wk UPS 2 X day DHL 2 X day Recycling 2 X wk

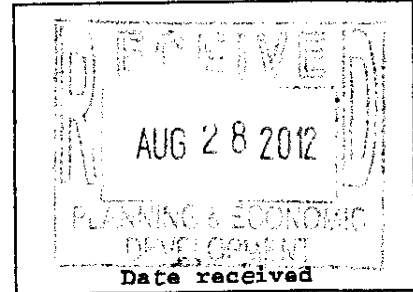
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PRELIMINARY & FINAL PLANNED DEVELOPMENT

Department of Planning & Zoning
 200 E. Wood Street • Palatine, IL • 60067-5339
 Telephone: (847) 359-9047 • Fax (847) 963-6247

OFFICE USE ONLY	Project Planner	Zoning Case #
		13-72
	File Fee	Notification Deadline



PLEASE TYPE OR PRINT IN INK:

1. Name of Petitioner(s): Rand Road Property, Inc.

2. Authorized Agent of Petitioner (if different):

Name: Mark R. Raymond

Address: 1515 E. Woodfield Road, 2nd Fl., Schaumburg, IL 60173

Telephone No. 847-330-2421 Business No. 847-330-2421

Email mraymond@mpslaw.com

Relationship to Petitioner: Legal counsel

3. Property Interest of Petitioner(s): Contract purchaser
Owner, Lessee, Contract Purchaser, etc.

4. Address of the property for which this application is being filed:
See attached table of PIN #'s and Addresses.

5. All existing land use(s) on the property are: commercial/vacant.

6. Current zoning of property: B5/R1 with nonconforming uses permitted per annexation agreements Size of the property: 6.25 acres

7. Briefly describe the proposed Planned Development with regards to types of uses proposed, number and types of units, development mix, amenities to be provided, etc:

See attached Project Narrative.

PETITIONER'S EXHIBIT

/

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Preliminary and Final Planned Development

Page 2

8. Describe any Variations from the Village Ordinances which would be required if the proposed Planned Development were to be developed as a traditionally zoned project (if any):

See attached Project Narrative and site, building and related plans submitted herewith.

9. The attached Checklist of Documents outlines all required submittals before a project may be scheduled for the required public hearing before the Plan Commission. All required documents must be submitted with this Petition.

Property of Cook County Clerk's Office

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PLAN COMMISSION
Tuesday, October 2, 2012

Present: Dennis Dwyer, Matthew Lewandowski, Patrick Noonan, Conrad Hansen
Teri Williams, Gavin Muldowney, Dennis Bond, Russ Smith, Doug Myslinski.
Assistant Director of Planning and Zoning Kevin Anderson.

Minutes of the August 21 meeting were approved as distributed.

Report of Public Hearing – Case 12-72 – southeast corner of Rand and Lake Cook rds.

Chairman Dwyer read the notice of public hearing. The petitioner in Case 12-72, Rand Road Property, Inc., seeks preliminary and final approval of a development to permit the construction and operation of a new automobile dealership (Hyundai), including auxiliary service and repairs; preliminary and final approval of a plat of subdivision to permit consolidation of the subject parcels; rezoning from B5 and R1 to P Planned Development for approximately 6.6 acres at the southeast corner of Rand and Lake Cook rds, commonly known as 2264, 2265, 2273, 2275, 2293, 2301, 2307, 2313, 2319, and 2325 N. Rand dr.

The following petitioner's exhibits were introduced:

1. Petition for preliminary and final planned development
2. Palatine Real Estate Interest Disclosure Form
3. Real Estate Purchase Agreements
4. Plat of Survey
5. Plat of Consolidation
6. Engineering and Landscape Plans revised September 12, 2012
7. Exterior Elevations
8. Preliminary Floor Plans
9. Sign Plans
10. Project Narrative

The following persons were sworn in to present the petition:

Martin Stilwell, COO of Patrick Hyundai Palatine, LLC
Bill Loftus, President, Spaceco, Inc., consulting engineers
Tim Hague, Keystone Ventures, LLC, real estate developers.

Stilwell said he has been working with the village for two years to develop the Hyundai dealership at this location. He described the condition of the properties as "blighted" for which reason the properties have been included in Palatine's newest TIF District. He plans for his enterprise to create a strong northwest entry into Palatine.

He said that since this is a new dealership, the number of employers will grow from the initial 35. He expects 25 percent of clients from the Schaumburg dealership to transfer their service needs to this site. The facility will be substantially larger than the Schaumburg dealership, he added, thereby providing 20 percent more potential for growth.

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plan commission
tuesday, october 2, 2012

page 2

When describing sales, he cited a high figure in 2007 of \$17.4 million, to a low of \$9 million. This has increased to \$11 million today he said, speculating that the figure will continue to increase as the economy recovers. Initial anticipated sales volume would be approximately 3,100 new and used vehicles in the first 12 months with sales increasing over time.

"The internet has changed business, Stilwell said. When people come to buy a car, they have made their purchase decision on line. Impulse buying is lost," he added.

When asked about the possibility of on site drilling, Loftus responded that he anticipates no drilling for building supports. "There may be some for pylon signs," he said.

Kevin Anderson was sworn in. He gave background on the request noting that surrounding uses and zones are:

East	Deer Path Lake wetlands	P
South	Highway Business	B5
West	Highway Business (several automobile oriented)	B5
North	Unincorporated Lake County	
	Open Space	OS
	Estate Residential	E
	General Commercial	GC

The Palatine Comprehensive Plan designates the area as Commercial.

Nine of the 11 parcels comprising this site were annexed in 2007. The remaining two were annexed in the summer of 2012. An existing cellular tower on the property would be permitted to remain as an existing non-conforming structure. Landscaping and a new island would be provided around the tower, and an easement would be created for access and maintenance.

Several existing billboards on the property will be permitted to remain until the expiration of their current lease term with some conditions as outlined in the Redevelopment Agreement. The relocation of these signs is still being negotiated between the sign owner and the petitioner. The developer proposes permitting one other billboard generally located near the existing cell tower to remain in its current location. Relocation of some billboards is proposed from the area near the intersection of Lake Cook rd. and Rand rd. toward the east end of the property along Lake Cook rd. Note: Billboards are specifically prohibited in Palatine.

The Petitioner proposes construction of a 33,700 square foot automobile dealership building with a related parking lot and vehicle display and service facilities. A contemplated addition to the building is indicated on the site plan by a dotted line. Anderson said future approval of this 6,500 square foot addition can be included as a minor amendment to the PUD.

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plan commission
tuesday, october 2, 2012

page 3

The majority of the proposed structure would be approximately 27 feet in height to the peak of the flat roof. The peak height of the proposed attached signs and background feature would be 32 feet.

The exterior of the structure would be composed of precast concrete and aluminum composite panels.

The building would be oriented northwest to southeast along Rand rd. with front doors on the north side of the structure. Setbacks would be approximately 85 feet from Rand rd. and 71 feet from Lake Cook rd. at the closest points.

According to the Palatine zoning ordinance, a building of this size and use would be required to provide 112 parking spaces. The developer proposes 122 service, customer, and employee spaces including three handicap spaces. He also proposes 804 spaces for vehicle display. Pursuant to the Illinois Accessibility Code, a minimum of five handicap parking spaces should be provided for a lot with 101 to 150 parking spaces. Plans will need to be revised to meet the requirements of the ILAC.

Anderson said access points are still pending since IDOT controls both roads at this intersection. Access to the site would be provided by a drive aisle extending from Rand rd. to Lake Cook rd. Rand rd. would be full access, including a dedicated right and left turn lane for egress. Lake Cook rd. would have a right-in-right-out only curb cut. "Driveways follow the comprehensive plan request to decrease the number of curb cuts," Anderson said.

The drive aisle is proposed to be placed within a shared access easement benefiting the property to the south. The Petitioner has provided an Autoturn exhibit verifying that delivery vehicles would have adequate room to enter and make deliveries and that fire department vehicles would have access to the structure as required.

Two landscaped vehicle display areas are proposed near the northwest corner of the site.

Three freestanding signs are proposed for this property. One would be placed at the intersection of Rand and Lake Cook rds., and two would be placed at the entrances to the property. All three signs would be approximately 16 feet in height and 72 square feet in area. Both height and square footage of these signs would meet the restrictions of the zoning ordinance. However, the zoning ordinance would allow only two freestanding signs for a B-5 parcel of this size.

Two attached signs are proposed on the building façade, facing northwest and northeast. Each would meet code at approximately 98 square feet. Signs proposed to project over the roof line of the building would require a variation in the B-5 district.

One additional attached sign indicating 'Patrick' is proposed to be approximately 35 square feet. The petitioner proposes additional attached directional signs over some of the bay doors for 'Service' and the 'Body Shop'.

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plan commission
tuesday, october 2, 2012

page 4

Overall sign square footage on the property would be approximately 447 square feet which meets Code.

Storm water would be collected on site and directed to a new detention basin at the northeast corner of the property. Storm water would be released into the wetland area to the east at a rate controlled via restrictor.

A new sanitary sewer would be required to be extended along the north side of Rand rd. to the intersection of Rand and Lake Cook rds. that would provide service to this site as well as allowing for future extension into Lake County if properties in the vicinity require services. Current engineering plans do not show this required extension. Therefore, it will remain as a condition of final approval.

Water would be provided from an existing service on the south side of Rand rd. The building would be sprinklered per code and would have two water shut off valves within an easement on site.

Service areas would have triple layer grease traps, Loftus said. All these would be indoors. The detention pond would be for storm water only. Drainage from the parking areas would be filtered in the bottom of the detention area itself. Natural filtration will also be used, he said.

The developer proposes to install sidewalks along the Rand rd. frontage. Payment of cash in lieu of sidewalks along Lake Cook rd. will be required.

The developer proposes to plant a total of 16 parkway trees along both frontages. The ratio is consistent with recent similar developments in this corridor. He would provide additional interior landscaping and design elements to offset the reduction in parkway trees.

The petitioner has submitted a traffic engineering report prepared by KLOA, Anderson said. In summary the report offers the following information:

Current levels of service at the Rand and Lake Cook intersection are below IDOT's minimum standards (with scores of D and F and a minimum standard of C).

Traffic generated by this development will not have a significant impact on the operation and level of service at the intersection. No modifications are recommended for the intersection in conjunction with this development. Total anticipated trip generations from this development are:

Peak hour, AM, weekday trip generation would be 65 vehicles.

Peak hour, PM, weekday trip generation would be 83 vehicles.

Peak hour, Saturday trip generation would be 96 vehicles.

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plan commission
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The report says that left (south) bound turns from the site onto Rand rd. will be difficult during peak traffic hours due to northbound Rand rd. queue reaching from the intersection to the access drive. It does note, however, that the queue does clear the access drive during the green phase of the light, making left turns possible.

Proposed hours of operation would be M – F 7:30 a.m. to 9:00 p.m., Sat. 8:00 a.m. to 6:00 p.m. The dealership would be closed on Sundays. Service hours would begin at 7:30 a.m., and sales hours would begin at 9:00 a.m.

The new dealership would add 30 to 35 new jobs to the village.

As detailed in their project narrative, the dealership anticipates 30 to 40 deliveries or pick up trips per week, based on their existing Schaumburg operation. These would include new and used vehicles, parts, garbage removal, used oil removal, and parcel deliveries.

Vehicle deliveries would be made by semi truck and trailer with trucks parking on the service aisle to unload vehicles. Parts would be delivered on smaller trucks and transferred to fork lifts. No semis would be permitted to unload in the interior of the parcel.

Initial anticipated sales volumes would be approximately 3,100 new and used vehicles in the first 12 months, with greater annual sales over time.

Staff Recommendation

The proposed building and use comply with the recommendations of the Comprehensive Plan and are compatible with surrounding land uses. Therefore, Staff recommends approval of the proposal subject to the following conditions:

1. The development shall substantially conform to the Engineering Plans prepared by Spaceco Inc. dated 8/24/12 last stamped 9/26/12; and to the Architectural Plans prepared by Custom Facilities dated and last revised 8/24/12; and to the Sign Plans prepared by Architectural Graphics, Inc. last revised 8/24/12; and to the Landscape Plan prepared by Norris Design last revised 9/25/12 except as such plans may be changed to conform to Village Codes and Ordinances and the following conditions:
2. If there are any discrepancies between the Redevelopment Agreement and this Ordinance, the Redevelopment Agreement shall supersede.
3. Planning and Engineering review fees shall be paid in the amount of \$3,051.65.
4. Cash-in-lieu of sidewalks along Lake Cook Road shall be paid in an amount acceptable to the Village Engineer.
5. Handicap parking shall be provided in accordance with the Illinois Accessibility Code.

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6. The landscaping plan shall be revised in a manner acceptable to the Director of Planning and Zoning.
7. The sanitary sewer shall be extended along the north side of Rand Road to the intersection with Lake Cook Road in a manner acceptable to the Village Engineer. Depending on the final design and location of this sewer, an easement may need to be dedicated.
8. All of the sanitary sewers constructed under MWRD permit # 82-149 should be properly abandoned in a manner acceptable to the Village Engineer. The former MWRD permit should be officially closed out.
9. A future building expansion similar to that shown on the engineering plans shall be reviewed as a minor PUD amendment by the Village Council. Additional service parking must be identified at that time, and the building expansion may not exceed 7,000 square feet of building coverage. Additions exceeding 7,000 square feet of building coverage or not generally located in the area shown on the engineering plans will require a formal public hearing for a Planned Development Amendment.
10. The retaining walls will need to be designed by a structural engineer.
11. IDOT, CCHD, MWRD, IEPA, and NPDES permits will be required.
12. The Final Plat of Subdivision shall be submitted on Mylar and shall substantially conform to the Plat of Subdivision prepared by Spaceco Inc. dated 8/27/12 last revised 9/11/12 except as such Plat may be changed to conform to Village Codes and Ordinances and the following conditions:
13. At the time of any future development to the south of the subject property, in which that development proposes to use the subject property's access aisle, an additional access easement shall be provided for the entirety of the access aisle through to Lake Cook Road, in a format acceptable to the Village Attorney.
14. At the time of any future development to the south of this site, in which that development proposes to use the subject property's access aisle, an owner's maintenance agreement shall be prepared outlining the maintenance responsibilities and access rights for the drive aisle. The agreement shall be in a format acceptable to the Village Attorney.
15. The public utilities easement stretching though the site should be removed from the final Plat, as the final design of the sanitary sewer will not follow this route.
16. Recording fees shall be submitted in the amount of \$300.00.

Stilwell said he is able to comply with staff conditions.

The public hearing was closed at 8:35 p.m.

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RECOMMENDATION

Mrs. Williams moved, Smith seconded that the plan commission recommend to the village council that it approve the request of the petitioner in Case 12-72, Rand Road Property, Inc., who seeks preliminary and final approval of a development to permit the construction and operation of a new automobile dealership (Hyundai), including auxiliary service and repairs; preliminary and final approval of a plat of subdivision to permit consolidation of the subject parcels; rezoning from B5 and R1 to P Planned Development for approximately 6.6 acres at the southeast corner of Rand and Lake Cook rds, commonly known as 2264, 2265, 2273, 2275, 2293, 2301, 2307, 2313, 2319, and 2325 N. Rand dr.

Said approval shall be contingent upon petitioner's compliance with 16 staff conditions listed above.

Unanimously carried
(9-0)

COMMUNICATIONS

Two items are on the October 16 agenda:

1. Final approval of the 14-lot Arcadia Subdivision
2. Text amendment

The meeting was adjourned at 8:45 p.m.

Natalie Meyer McKenzie,
secretary

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CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora

County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published September 17, 2012 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY Laula Baltz
Authorized Agent

Control # 4315704

PUBLIC NOTICE

A public hearing will be held before the Palatine Plan Commission on Tuesday, October 2, 2012, at 8:00 PM, in the Village Council Chambers in the Palatine Community Center, 200 E. Wood Street, relative to a request for the following:

1. Preliminary and Final Planned Development to permit the construction and operation of a new automobile dealership (Hyundai) including auxiliary service and repairs;

2. Preliminary and Final Plat of Subdivision to permit consolidation of the subject parcels;

3. Rezoning from B-5 Business and R-1 Residential to P Planned Development.

The property is commonly known as 2264, 2265, 2273, 2275, 2293, 2301, 2307, 2313, 2319 & 2325 N. Rand Road.

The proposal would allow the construction of a new automobile dealership.

The above petition has been filed by Rand Road Properties, Inc., and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE NUMBER: 12-72

VILLAGE OF PALATINE

Dennis Dwyer, Chair
Palatine Plan Commission

DATE D: This 17th day of

September 2012

Published in Daily Herald

September 17, 2012 (4315704)

Property of Cook County Clerk's Office

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STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, MARGARET R. DUER, do hereby certify that I am the duly elected, qualified and acting Clerk of the Village of Palatine, Cook County, Illinois, and that I am the keeper of the records, journals, entries, ordinances and resolutions of the said Village of Palatine.

I do further certify that the foregoing Ordinance is a true and correct copy of an Ordinance passed and adopted by the Village Council of the Village of Palatine at a Regular meeting held on the 8th day of October, 2012, and that said ordinance was deposited and filed in the office of the Village Clerk on the 8th day of October, 2012.


I do further certify that the original of which the foregoing is a true copy, is entrusted to my care for safekeeping and that I am the keeper of the same.

I further certify that the vote of the Village Council on the motion to adopt said ordinance was as follows:

AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0

BY WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Palatine this 12th day of October, 2012.

(S E A L)



Margaret R. Duer
Palatine Village Clerk