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Doc# 1814316106 Fee \$94.00

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KAREN A. YARBROUGH

COOK COUNTY RECORDER OF DEEDS

DATE: 05/23/2018 03:59 PM PG: 1 OF 29

**THIS DOCUMENT HAS BEEN
PREPARED BY, AND AFTER
RECORDATION SHOULD BE
RETURNED TO:**

**Michael C. Kim & Associates
19 South LaSalle Street
Suite 303
Chicago, Illinois 60603
Attn: Michael C. Kim**

SIXTH AMENDMENT TO
THE DECLARATION OF CONDOMINIUM OWNERSHIP
AND OF EASEMENTS, RESTRICTIONS AND COVENANTS
FOR
400 WEST HURON CONDOMINIUMS

This document is recorded for the purpose of amending the Declaration of Condominium Ownership and of Easements, Restrictions and Covenants (hereafter the "Declaration"), for 400 West Huron Condominiums (hereafter the "Association"), which Declaration was recorded on April 6, 2017, as Document No. 1709629057 in the Office of the Recorder of Deeds of Cook County, Illinois, and covers the property (hereafter the "Property") legally described in Exhibit "1", which is attached hereto and made a part thereof.

This amendment is adopted pursuant to the provisions of Article 15, Section 15.6 of the aforesaid Declaration and Section 17 of the Illinois Condominium Property Act (the "Act"). Said provisions provide that this amendment, the text of which is set forth below shall become effective upon recordation in the Office of the Recorder of Deeds of Cook County, Illinois, of an instrument in writing setting forth the change, provided the same is signed and acknowledged by the President or a Vice President of the Board or such other officer authorized by the Board of Managers of the Association (the "Board") and approved by Unit Owners having, in the aggregate, at least sixty-seven percent (67%) of the total vote at a meeting called for that purpose and provided further that it contains an affidavit by the Secretary or other authorized officer of the Board, certifying that a copy of the change has been sent by certified mail to all Eligible Mortgagees, having liens of record against any unit ownership.

RECORDING FEE 94.00
DATE 5-23-18 COPIES 6
OK BY B. M. M.

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RECITALS

WHEREAS, by the Declaration recorded in the Office of the Recorder of Deeds of Cook County, Illinois, the Property has been submitted to the provisions of the Act; and

WHEREAS, the Board and the Unit Owners desire to amend the Declaration in order to permit the Unit Owners of Unit 1501 to make certain improvements and/or alterations to the exterior walls and roof area contiguous to Unit 1501 under the terms and conditions specified in said Amendment; and

WHEREAS, the amendment has been signed and acknowledged by the President of the Association or such other officer authorized by the Board, and approved by Unit Owners having at least sixty-seven percent (67%) of the total vote at a meeting called for that purpose, and due notice having been provided to all Eligible Mortgagees holding liens of record against any unit ownership, all in compliance with Article 15, Section 15.6 of the Declaration and Section 17 of the Act.

NOW THEREFORE, Article 8, Section 8.1 of the Declaration of Condominium Ownership and of Easements, Restrictions and Covenants for 400 West Huron Condominiums is hereby amended by the addition of new Subsection (h-1) in accordance with the text which follows:

“8.1(h-1) Notwithstanding any provision to the contrary in Subsection 8.1(h) above, the exterior walls and roof area contiguous to Unit 1501 may be modified, altered and decorated in accordance with the plans, specifications, renderings, depictions and site plans set forth in Exhibit A hereto (the “Work”), without variation or deviation, to this Amendment, provided that the Owner of Unit 1501 shall submit documentation reasonably satisfactory to the Board of Directors as to (1) the Work’s compliance with structural and windload pressure limitations, and applicable law and codes (including any required permits); (2) written confirmation from the warrantors that the Work will not adversely affect any existing warranties related to the roof, walls or other affected components; (3) proof of homeowners insurance coverage which includes the Work, which coverage shall be at the sole expense of the Owner of Unit 1501; and (4) proof of personal liability insurance, at the sole expense of the Owner of Unit 1501, in an amount that is acceptable to the Board based on advice from the Association’s insurance consultant (proof of insurance shall be supplied annually upon expiration of the prior years’ insurance policy – in the event of a failure to provide evidence of insurance, the Board of Directors may increase the Association’s General Liability and/or Umbrella Liability coverages to provide sufficient coverage and bill the incremental cost of said increased coverage back to the Owner of Unit 1501). The Board may authorize minor changes to the Work, but any major change in any aspect of the Work (including but not limited to, location, materials, and design) shall require approval by a simple majority of the Owners. The Owners of Unit 1501 shall be solely responsible for any maintenance, repair, replacement or insurance of the Work. To the fullest extent

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permitted by law, the Owner of Unit 1501 shall defend, indemnify and hold harmless the Board, Association and other Owners, and their respective agents, employees, heirs, personal representatives, successors and assigns, from and against any and all expenses (including, but not limited to attorney's and other professional fees), claims, judgements, causes of action, demands, damages and liabilities of any kind whatsoever, arising from or related to this Section 8.1(h-1) or the Work. This Section 8.1(h-1) shall be binding on all current and future Owners of Unit 1501, and may not be amended or deleted without the express written consent of the Owner of Unit 1501 in addition to the amendment procedures set forth in Article 15, Section 15.6 of the Declaration."

EXCEPT TO THE EXTENT EXPRESSLY SET FORTH HEREINABOVE, THE REMAINING PROVISIONS OF THE DECLARATION SHALL CONTINUE IN EFFECT WITHOUT CHANGE.

END OF TEXT OF AMENDMENT

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EXHIBIT A
to
Article 8, Section 8.1(h-1)

COOK COUNTY
RECORDER OF DEEDS

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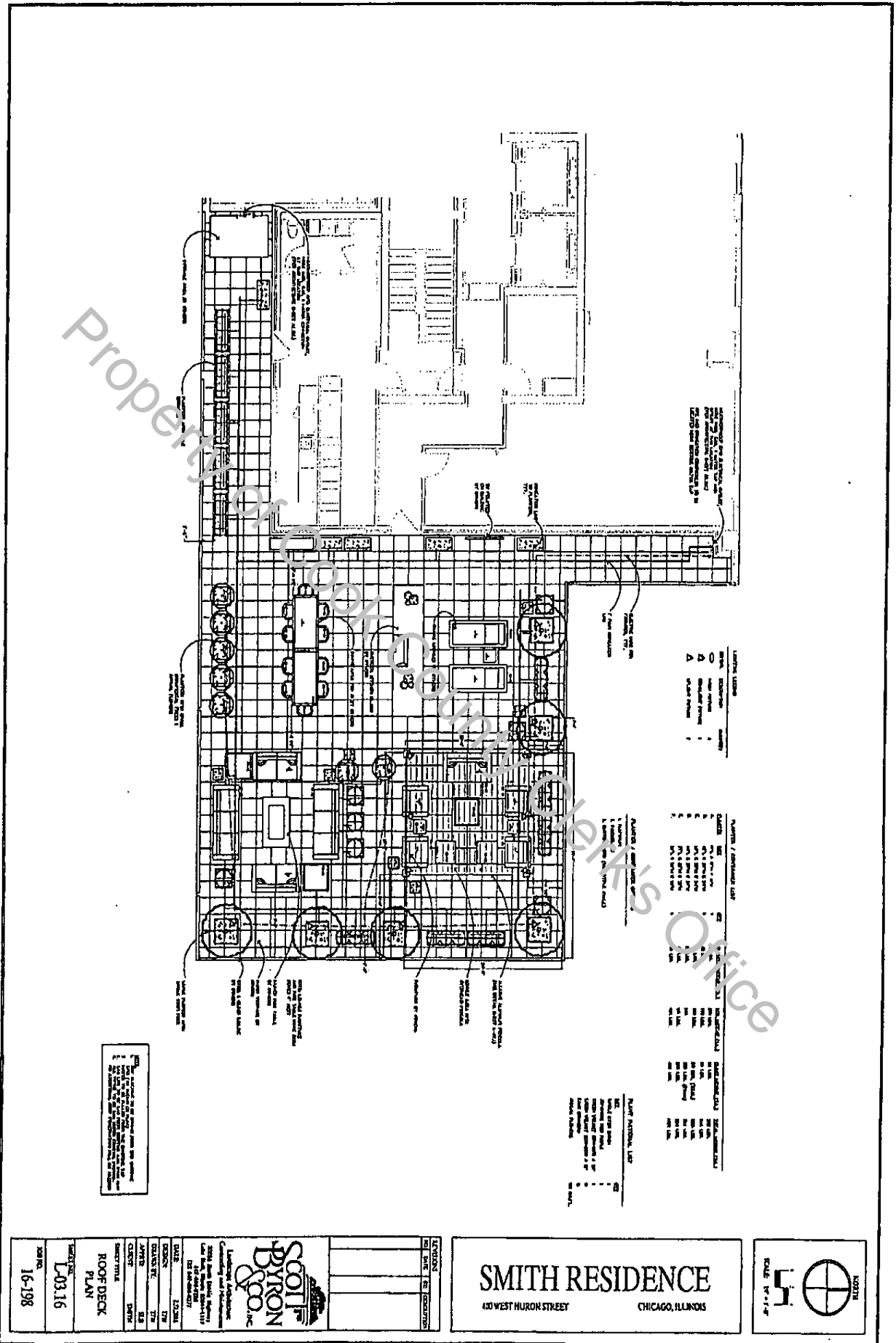


TABLE 1: MATERIALS LIST

NO.	DESCRIPTION	QUANTITY
1	ROOF DECK FINISH	1
2	ROOF DECK STRUCTURE	1
3	ROOF DECK DETAILS	1

TABLE 2: FINISHES LIST

NO.	DESCRIPTION	FINISH
1	ROOF DECK FINISH	ASPH/FLT
2	ROOF DECK STRUCTURE	CONCRETE
3	ROOF DECK DETAILS	STEEL

ROOF FINISHES LIST

1. ROOF DECK FINISH

2. ROOF DECK STRUCTURE

3. ROOF DECK DETAILS

THIS PLAN IS A PART OF THE ARCHITECTURAL RECORD FOR THE SMITH RESIDENCE. IT IS THE PROPERTY OF SCOTT BYRON ARCHITECTS AND SHOULD NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF SCOTT BYRON ARCHITECTS.

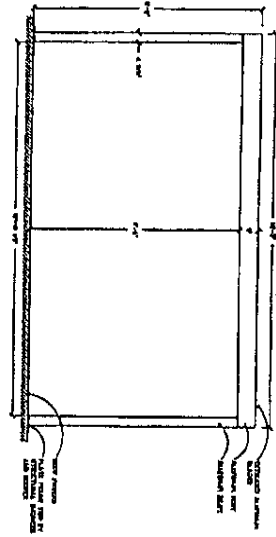
<p>SCOTT BYRON ARCHITECTS Landscape Architecture Civil Engineering and Construction 2008 West Lake Street, Suite 100 Chicago, IL 60610 Tel: 312.467.8888 Fax: 312.467.8877</p>	
DATE	03/16/16
DESIGNER	SB
EXAMINER	SB
CLIENT	SMITH
PROJECT TITLE	SMITH RESIDENCE
ROOF DECK PLAN	
DATE	03/16/16
SCALE	1/8" = 1'-0"

SMITH RESIDENCE
430 WEST HURON STREET
CHICAGO, ILLINOIS

NORTH

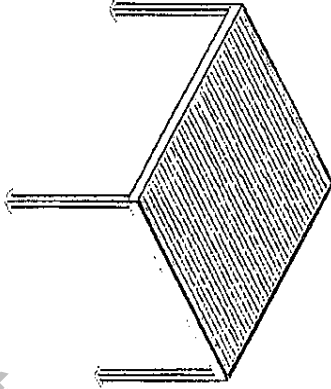
SCALE: 1/8" = 1'-0"

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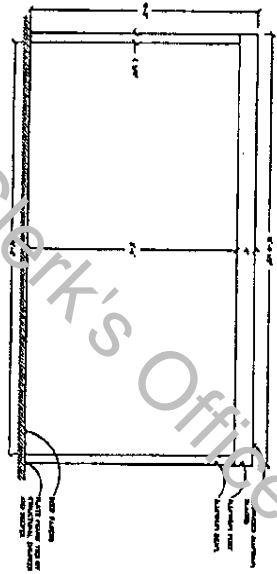
① ALGARVE PERGOLA
SECTION / NORTH ELEVATION

SCALE 1/8"=1'-0"



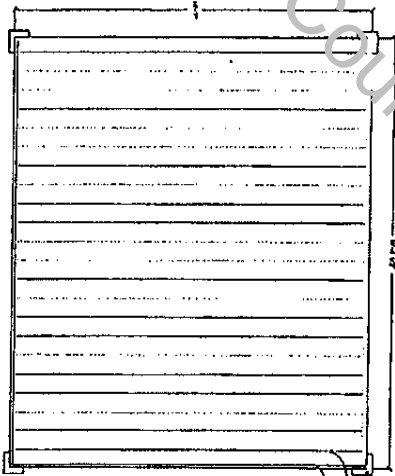
③ ALGARVE PERGOLA
SECTION / NORTH ELEVATION

SCALE 1/8"=1'-0"



② ALGARVE PERGOLA
SECTION / NORTH ELEVATION

SCALE 1/8"=1'-0"



④ ALGARVE PERGOLA
SECTION / NORTH ELEVATION

SCALE 1/8"=1'-0"

Property of Cook County Clerk's Office

<p>SMITH RESIDENCE 80 WEST HURON STREET CHICAGO, ILLINOIS</p>		<p>SCALE: AS NOTED</p>
<p>DATE: 10/11/16 DRAWN BY: [unintelligible] CHECKED BY: [unintelligible] PROJECT: [unintelligible]</p>		
<p>SCOTT BYRON & CO., INC. Landscape Architecture 1000 N. Dearborn Street, Suite 100 Chicago, IL 60610 Tel: 312.329.8800</p>		
<p>SHEET: L-07.1 NO. OF SHEETS: 16-198</p>		

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TESTS

Protection and comfort

Our terrace coverings offer protection and comfort at various levels. In order to guarantee this comfort, they are thoroughly tested for water resistance, load-bearing capacity and wind resistance.

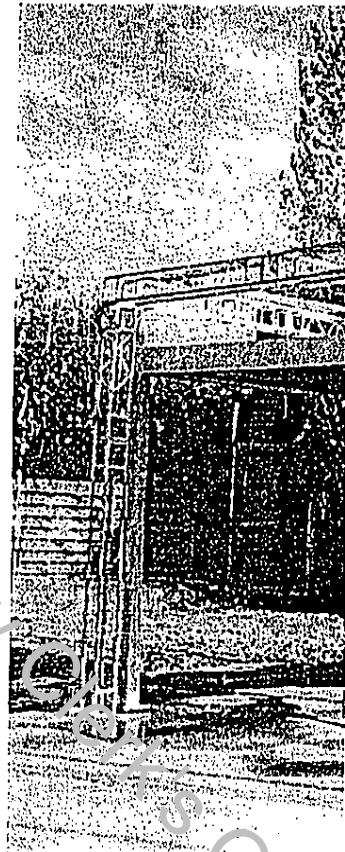
Water tested

The water resistance and water drainage are tested using a spray installation that mimics rain. For example, we check how much flow our terrace coverings can drain and how this drainage can be optimised:

Camargue®: Camargue® can drain an amount of water equivalent to rains with an intensity of 180 mm/hr that last up to 2 minutes. These kinds of rains occur on average once every 15 years in Belgium. (See Belgian rain statistics: NBN B 52-011 norm)

Algarve®: Algarve® can drain an amount of water equivalent to rains with an intensity of between 144 mm/hr and 150 mm/hr that last up to 2 minutes. These kinds of rains occur on average once every 10 years in Belgium. (See Belgian rain statistics: NBN B 52-011 norm)

Legune®: Legune® can drain an amount of water equivalent to rains with an intensity of 180 mm/hr that last up to 2 minutes. These kinds of rains occur on average once every 15 years in Belgium. (See Belgian rain statistics: NBN B 52-011 norm)



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GENERAL

INSTALLATION

TESTS

WEATHER

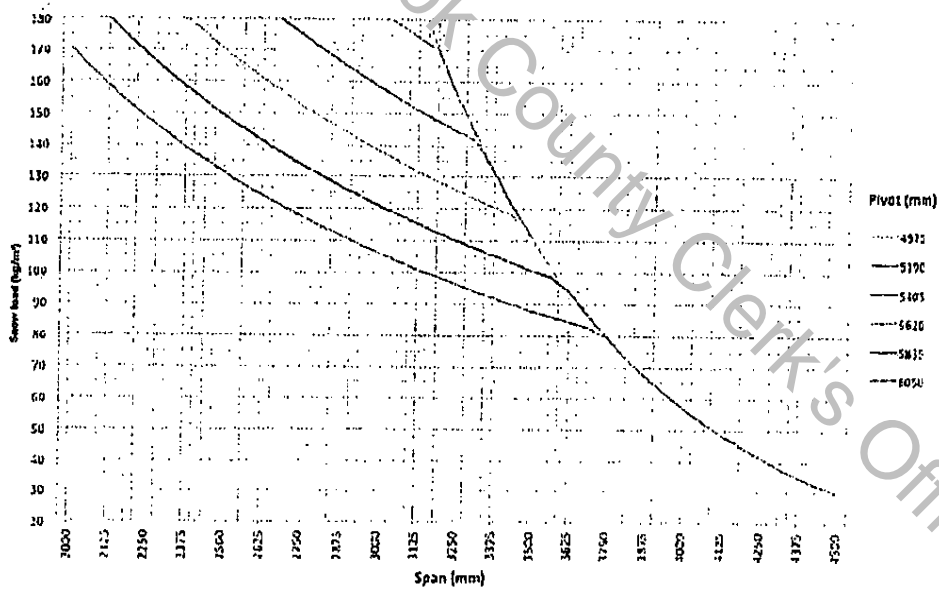
SALES

Load-bearing capacity

Terrace coverings are subjected to external various forces (e.g. snow). The load-bearing capacity is determined using static strength calculations carried out by our engineers and validated through internal tests. The basic principle is that the construction may be in 1/200th of its longest dimension without permanent deformities occurring.

The load-bearing capacity of the Camargue® and Algarve® is dependent on the basic structure and the surface area. Using the following diagram, the load-bearing capacity depending on the Span & Pivot dimensions are given.

Example: a terrace covering with a 3375 mm Span and a 5835 mm Pivot can bear a snow load of at least 110 kg/m² (= 2160 kg!)



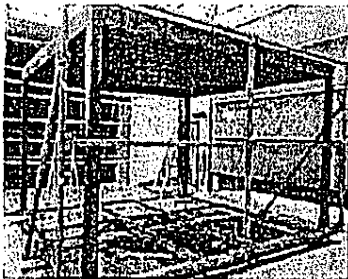
Camargue® and Algarve® load-bearing capacity

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Wind tests

In order to determine the wind forces that our terrace coverings and vertical sun protection screens can withstand, wind (unnecessary) tests were carried out.

	Wind speed with screen at 10m height	Wind speed without screen at 10m height
Camaguey	120 km/h 11 Beaufort	50 km/h 7 Beaufort
Lapuna	120 km/h 11 Beaufort	50 km/h 7 Beaufort
Lapuna	100 km/h 10 Beaufort	50 km/h 7 Beaufort
Camaguey Escambray	60 km/h 7 Beaufort	30 km/h 5 Beaufort



Beaufort scale

Force	Description	Wind speed km/h (mph)	Wind speed knots	Effects
0	Calm	< 0.2	< 1	You don't feel the wind. Smoke will rise vertically straight up.
1	Light air	0.3 - 1.0	1 - 5	Wind direction can be felt from the smoke plume, but not from the vegetation.
2	Light breeze	1.5 - 3.0	6 - 12	Wind can be felt on the face; leaves rustle. The weather vanes move visibly with the wind.
3	Gentle breeze	3.5 - 5.0	13 - 19	Flags wave and leaves move around and fall.
4	Moderate breeze	5.5 - 7.0	20 - 27	Leaves blow up and away from the tree.
5	Fresh breeze	7.5 - 10.0	28 - 37	Bushes rustle, white tops of lakes and clouds.
6	Strong breeze	10.5 - 13.0	38 - 46	Windrings are difficult to maintain, large branches sway, power lines hum.
7	High wind, moderate gale, fresh gale	13.5 - 17.5	49 - 62	It is difficult to walk into the wind from snow.
8	Gale, fresh gale	17.5 - 20.0	63 - 73	Making headway is very difficult. Small branches break off.
9	Strong/ severe gale	20.5 - 24.0	74 - 87	Chancey tops, roofing tiles and accessories blow away.
10	Storm, whole gale	24.5 - 28.0	88 - 102	A lot of damage to buildings.
11	Violent storm	28.5 - 32.0	103 - 117	Major damage to houses and forests.
12	Hurricane force	> 32.0	> 118	Total destruction.

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Scott A. Peterson

From: Hamlin, Donald
Sent: Tuesday, February 28, 2017 8:58 AM
To: Scott A. Peterson
Subject: RE: Smith Resident 400 West Huron Chicago

Yes, I don't think any weight was indicated for that but it would certainly be fine.

Donald W. Hamlin, S.E.
Vice President
Thornton Tomasetti
350 N. Wabash Avenue, Suite 1500
Chicago, IL 60611

[Redacted]

From: Scott A. Peterson
Sent: Tuesday, February 28, 2017 8:55 AM
To: Hamlin, Donald
Subject: RE: Smith Resident 400 West Huron Chicago

Thank you Don. Does this also confirm the Pergola that was on the drawings?

SCOTT A. PETERSON

Scott

[Redacted]

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From: Hamlin, Donald
Sent: Monday, February 27, 2017 3:05 PM
To: Scott A. Peterson
Subject: RE: Smith Resident 400 West Huron Chicago

Scott,

Our memo is attached.

Thanks,

Don

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Donald W. Hamlin, S.E.
 Vice President
 Thomson Tomassetti
 330 N. Wabash Avenue, Suite 1500
 Chicago, IL 60611

From: Scott A. Peterson
 Sent: Wednesday, February 22, 2017 11:07 AM
 To: Hamlin, Donald
 Cc: Wehling, David
 Subject: RE: Smith Resident 400 West Huron Chicago

Don,

This date works.

Thank you.

SCOTT A. PETERSON

Apps
 [Redacted]

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From: Hamlin, Donald
 Sent: Wednesday, February 22, 2017 8:43 AM
 To: Scott A. Peterson
 Cc: Wehling, David
 Subject: RE: Smith Resident 400 West Huron Chicago

Thanks Scott,

We can review and get you a summary memo by end of day on Monday, Feb 27. Pls let me know if there are any problems with that date.

Don

Donald W. Hamlin, S.E.
 Vice President
 Thomson Tomassetti

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 COOK COUNTY
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330 N. Wabash Avenue, Suite 1500
Chicago, IL 60611

[Redacted]

From: Scott A. Peterson
Sent: Tuesday, February 21, 2017 4:34 PM
To: Hamlin, Donald
Cc: Wehling, David
Subject: RE: Smith Resident 400 West Huron Chicago

Don,

Attached please find the executed proposal for the roof deck structural review based on the Landscape Plans provided to TT. Please follow up with your firming to complete the review.

Thank you.

SCOTT A. PETERSON

[Signature]

[Redacted]

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From: Hamlin, Donald
Sent: Wednesday, February 15, 2017 2:07 PM
To: Scott A. Peterson
Cc: Wehling, David
Subject: RE: Smith Resident 400 West Huron Chicago

Scott,

Our proposal is attached.

Thanks,

Don

Donald W. Hamlin, S.E.
Vice President
Thomson Tomasetti
330 N. Wabash Avenue, Suite 1500
Chicago, IL 60611

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[Redacted]

From: Scott A. Peterson
Sent: Tuesday, February 14, 2017 10:31 AM
To: Hamlin, Donald
Subject: RE: Smith Resident 400 West Huron Chicago

Don,

Let's review without permils as a starting place.

SCOTT A. PETERSON

AS

[Redacted]

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From: Hamlin, Donald
Sent: Tuesday, February 14, 2017 10:05 AM
To: Scott A. Peterson
Subject: RE: Smith Resident 400 West Huron Chicago

Scott,

Thanks for the drawings, this is the clearest loading info I've ever seen for landscaping items. Regarding fee, do you need to provide calculations for permit review? That would have a big impact on fee compared to just sending a plan saying that the loading is ok, please let me know.

Don

Donald W. Hamlin, S.E.
Vice President
Thornton Tomasetti
330 N. Wabash Avenue, Suite 1500
Chicago, IL 60611

[Redacted]

From: Scott A. Peterson
Sent: Tuesday, February 14, 2017 9:35 AM
To: Hamlin, Donald
Subject: Smith Resident 400 West Huron Chicago

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On,

Good Morning,

Below is the link to the deck locations and weights. Will need to work on the Pergola support.

Please let me know if you can provide a NTE fee for your work?

Thank you.

SCOTT A. PETERSON



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COOK COUNTY
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MEMORANDUM FOR THE RECORD

Memorandum

TO	Scott A. Peterson	FROM	Donald W. Hamlin, S.E.
CONTRACT	Apts Construction Inc	DATE	February 27, 2017
RE	Structural Review of Planter Loads	PROJECT NO	C17045.00
CC		PROJECT NAME	Smith Residence 100 W. Huron

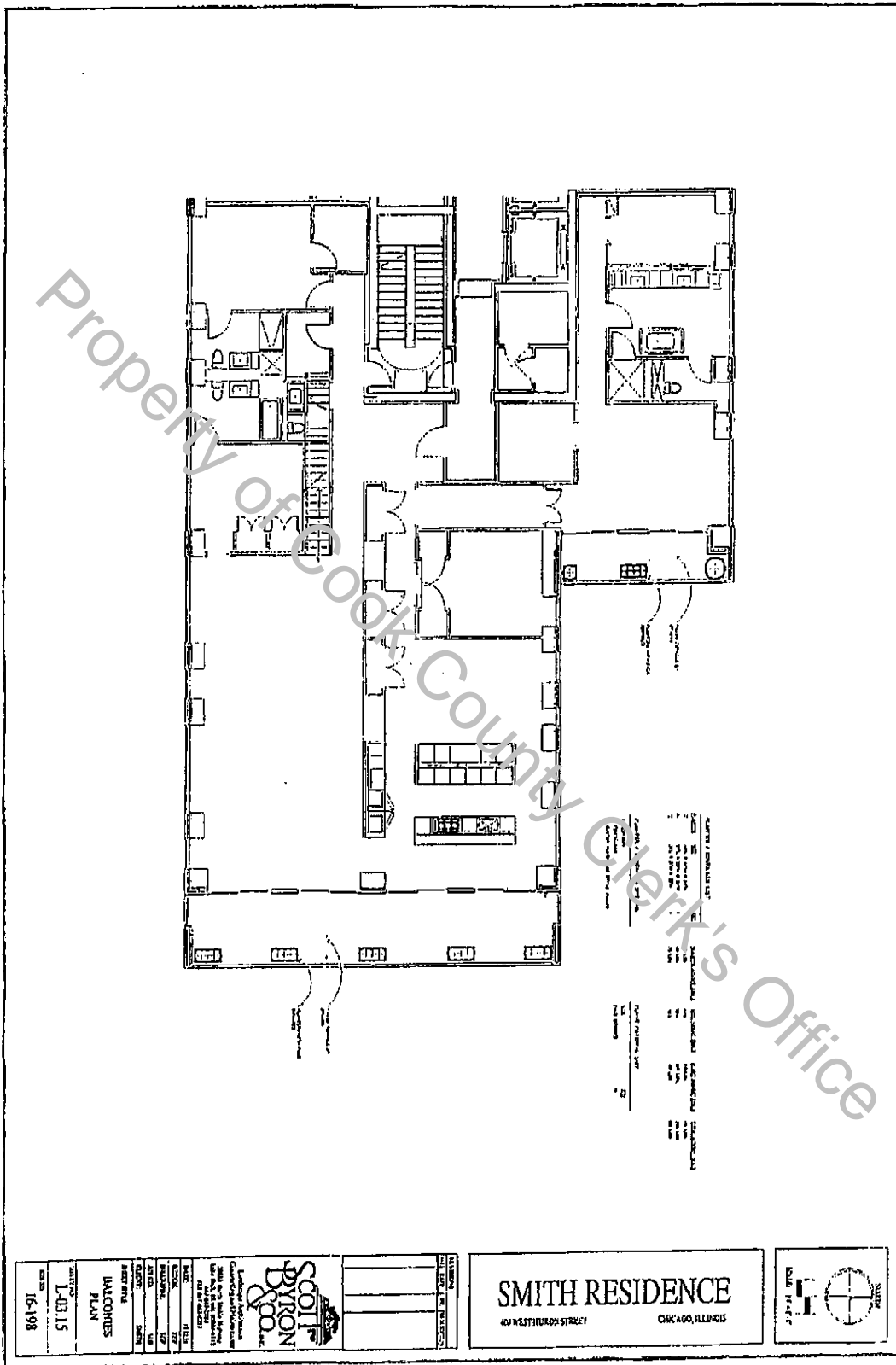
As requested, Thornton Tomasetti has reviewed the ability of the existing concrete framing at Levels 15 and 16 to support proposed planter loads at the outdoor area. This planter weights and locations used in our analysis are as shown on drawings L-15.15 and L-03.16 by Scott Byron & Co. dated 12.12.16. These drawings are attached for reference.

Based on our analysis, the existing framing is able to support all of the proposed planters, as shown on the above noted drawings, with no additional reinforcement required. Please contact us if there are any questions or concerns.

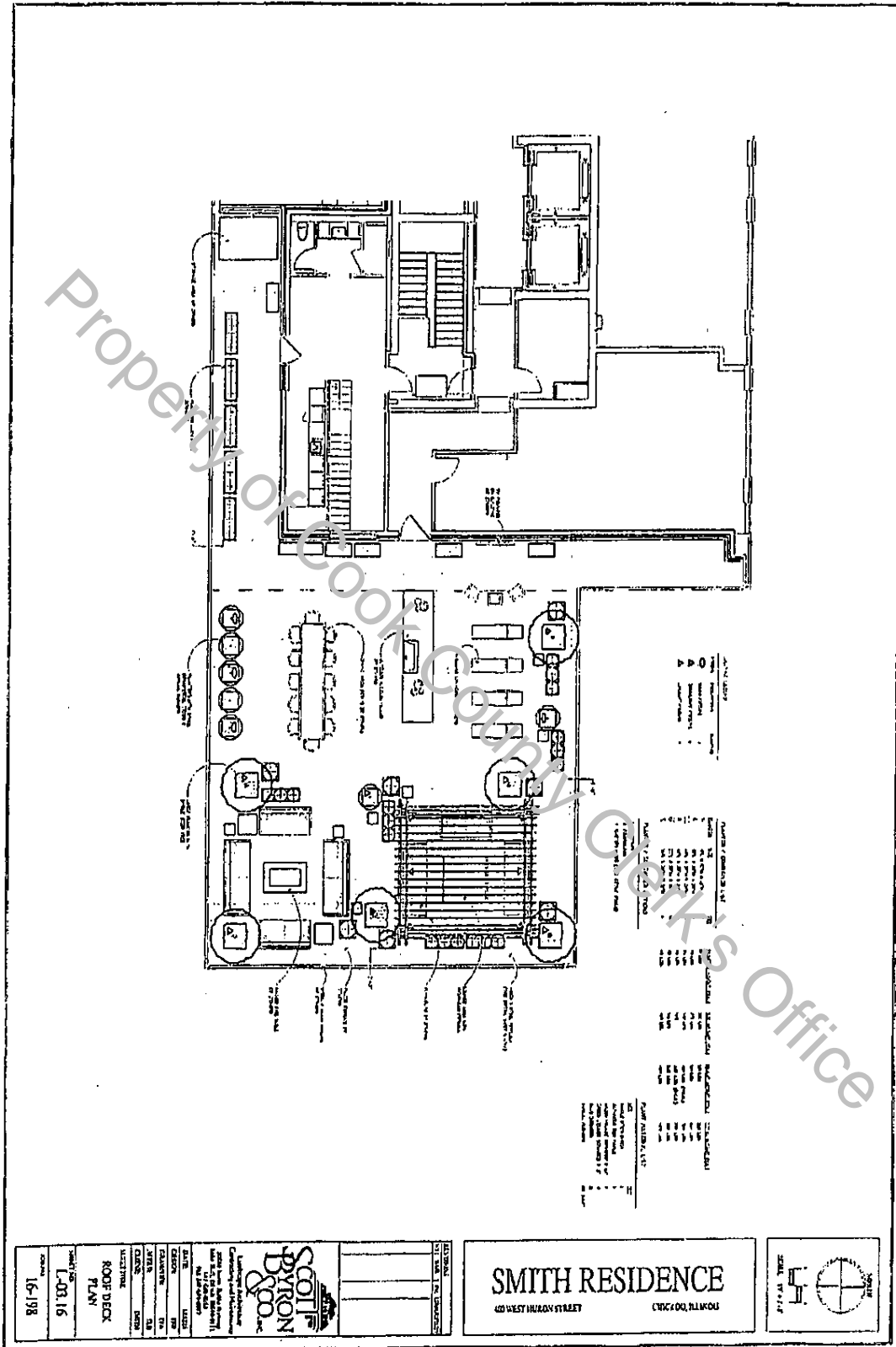
12011 Western Avenue, Suite 1300 | Chicago, IL 60611-7622

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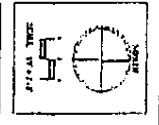


SCOTT BYRON
 ARCHITECTS, INC.
 1000 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 562-1111
 Fax: (954) 562-1112
 Website: www.scottbyron.com

DATE: 10/16/16
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]
 PROJECT: 16-198
 CLIENT: [Name]
 LOCATION: [Address]

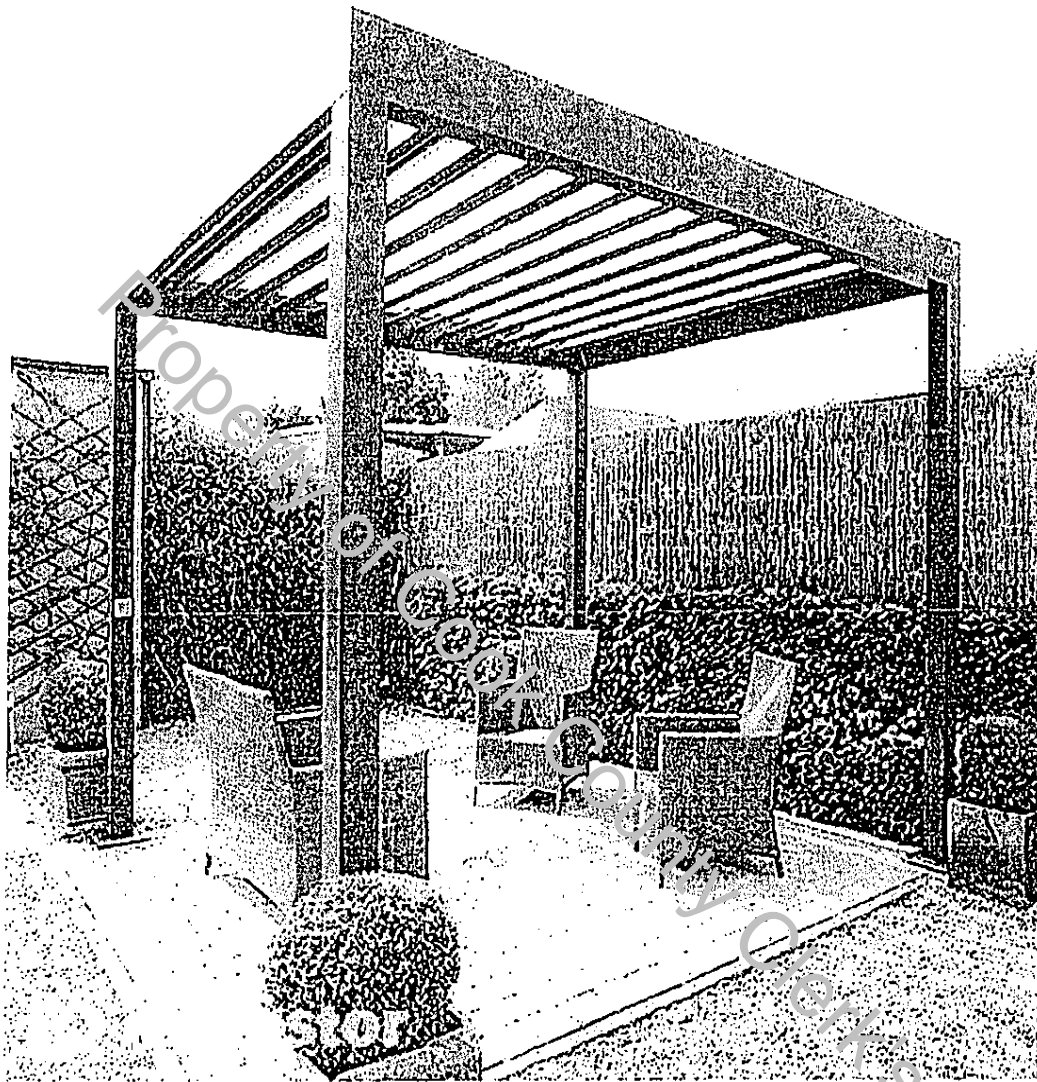
NO.	REVISION

SMITH RESIDENCE
 40 WEST HUDSON STREET
 CHICAGO, ILLINOIS



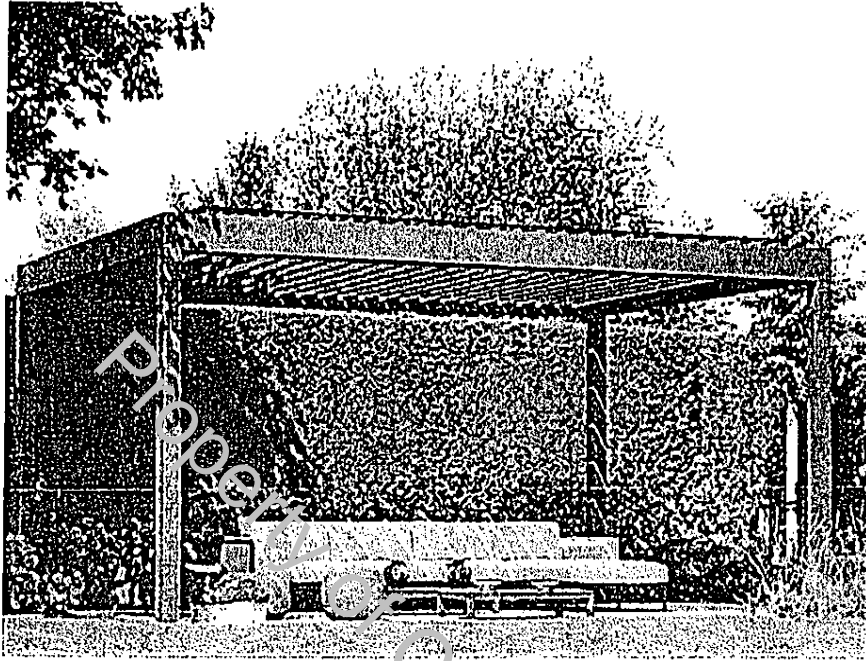
FINISH SCHEDULE
 1. WALLS: 1/2" GYP BOARD
 2. CEILING: 5/8" GYP BOARD
 3. FLOOR: 3/4" GYP BOARD
 4. DOORS: 1 3/4" SOLID CORE
 5. WINDOWS: 1 3/4" SOLID CORE
 6. STAIRS: 1 3/4" SOLID CORE
 7. ROOF: 2" POLYSTYRENE INSULATION
 8. ROOF DECK: 4" CONCRETE
 9. ROOF FINISH: 1" GYP BOARD
 10. ROOF LIGHTS: 1" GYP BOARD
 11. ROOF VENTS: 1" GYP BOARD
 12. ROOF DRAINAGE: 1" GYP BOARD
 13. ROOF ELECTRICAL: 1" GYP BOARD
 14. ROOF MECHANICAL: 1" GYP BOARD
 15. ROOF PLUMBING: 1" GYP BOARD
 16. ROOF HVAC: 1" GYP BOARD
 17. ROOF EXHAUST: 1" GYP BOARD
 18. ROOF EXHAUST: 1" GYP BOARD
 19. ROOF EXHAUST: 1" GYP BOARD
 20. ROOF EXHAUST: 1" GYP BOARD

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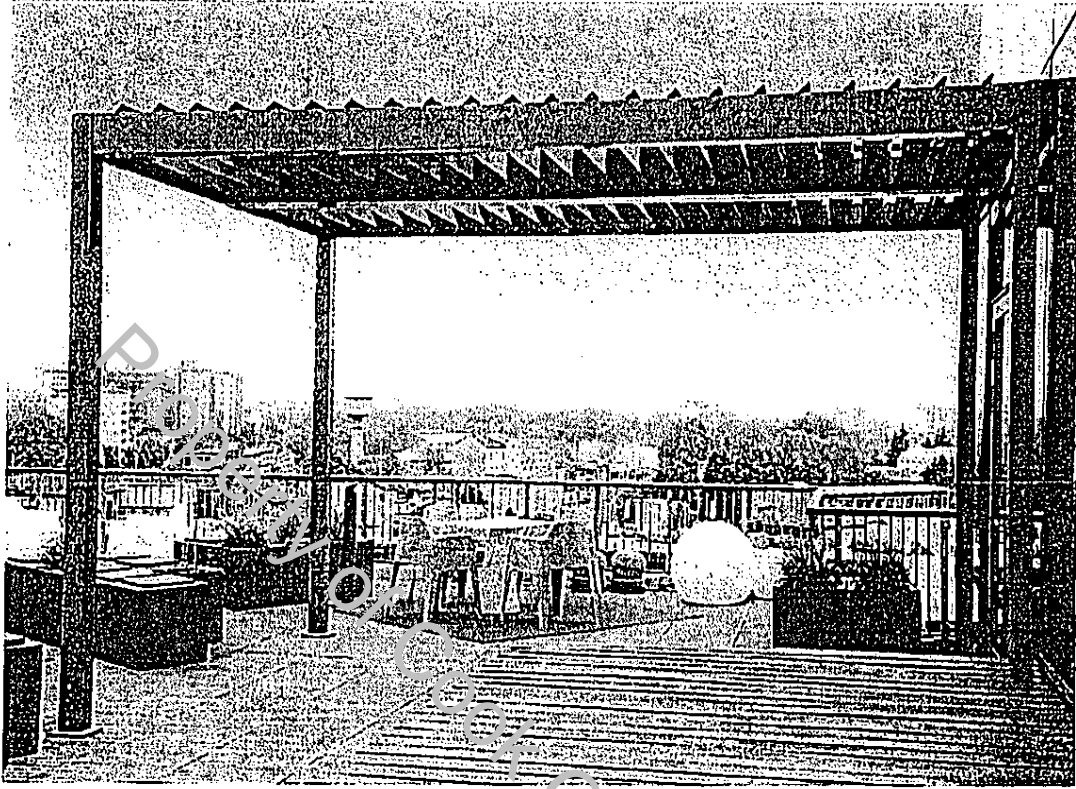
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EnduraLED MR16 LED Bullyte (BL5016) Specification Sheet

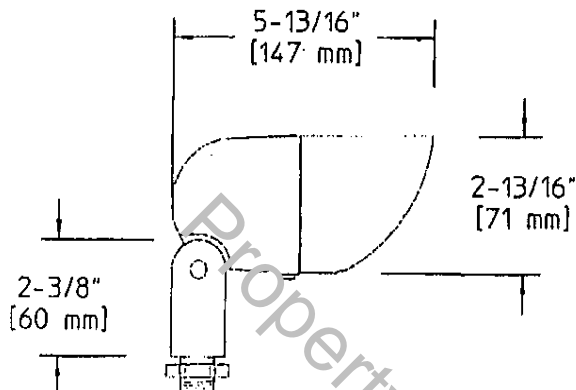
Project Name:	Location:	MFG: Phillips Hadco
Fixture Type:	Catalog No.:	Qty:

Ordering Guide

Example: BL5016 A S7 LED7 C

Product Code	BL5016	EnduraLED MR16 LED Bullyte
Finish	A G H	Black Verde Bronze
Mounting	S7	Mounting Stake
LED	LED7	7W MR16 *1
CCT	C W	Cool 4000K Warm 2700K

*1 Lamp comes installed as integral part of fixture and can not be ordered separate.



Specifications

HOUSING:

Die-cast marine grade aluminum alloy. Fully-adjustable swivel arm with vibration proof locking teeth. Fully rotatable shroud, double gasketed, die-cast marine grade alloy aluminum. 1/2" NPS male threads to screw onto accessory mounting stake or junction box, sold separately. Gasketing is silicone. Fasteners are 300 series stainless steel.

FINISH:

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion coating process and bonded by heat fusion thermosetting.

LAMPING:

Features active cooling technology to disperse heat. White high brightness (HB) LEDs. Delivers 10% lumen maintenance at 20,000 hours. Cool white (4,000K nominal). Warm white (2,700K nominal). Instant-on light. Emits virtually no UV/IR light beam, 20,000+ hours rated life. No UV and Cool Beam (no IR).

OPTICAL ASSEMBLY:

24° beam angle for a clearly defined beam spread. Clear tempered glass affixed at 10° angle for natural cleaning.

ELECTRICAL ASSEMBLY:

Bi-pin socket type (GU5.3) with 250° C high temperature teflon coated wire leads. Stainless steel retention clip secured to socket to securely hold lamp in place. 12 Volt fixture is pre-wired with 3-ft pigtail of 18-2 AWG, 105° C, SPT-1W wire. Low voltage quick connector, catalog #LVCS3 included for easy hook-up to the low voltage supply cable, not included. 12 Volt system requires remote transformer, not included.

WARRANTY:

Five-year limited warranty.

CERTIFICATIONS:

ETL Listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

Width:

2 13/16" (71 mm)

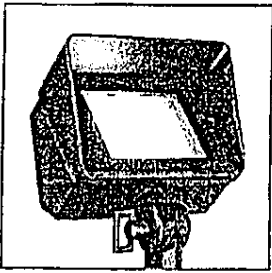
Length:

5 13/16" (147 mm)

Max. Weight:

1.46 lb

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Model: **SPJ-MWW2**
Finish: Matte Bronze

Forever Bright

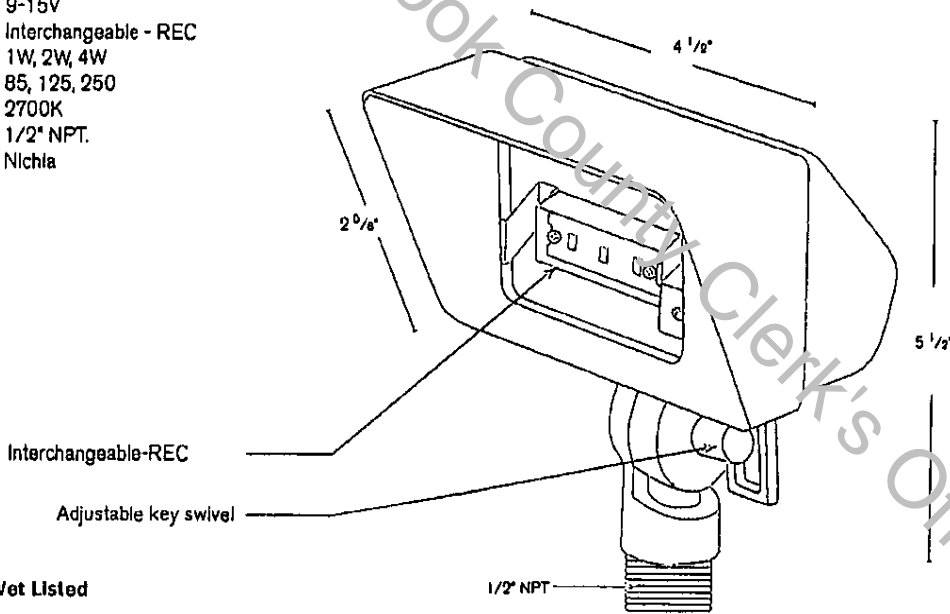
SPECIFICATION FEATURES

- Finish:** Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".
- Electrical:** Available in 9-15V
- Labels:** ETL Standard Wet Label
C-ETL

Wall Washer

DESCRIPTION

- Model#:** SPJ-MWW2
- Material:** Cast Brass
- Electrical:** 9-15V
- Engine:** Interchangeable - REC
1W, 2W, 4W
- Lumens:** 85, 125, 250
- Color Temp:** 2700K
- Mounting:** 1/2" NPT.
- LED:** Nichia



Wet Listed



ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-MWW2	MBR	1W	85	2700K	9-15V

- V = Verde
- M = Moss
- AG = Aged Brass
- MBR = Matte Bronze
- SB = Satin Brass
- GM = Gun Metal
- B = Black
- R = Rusly
- PVDP = PVD Polished
- PVDS = PVD Satin

- 1W
- 2W
- 4W

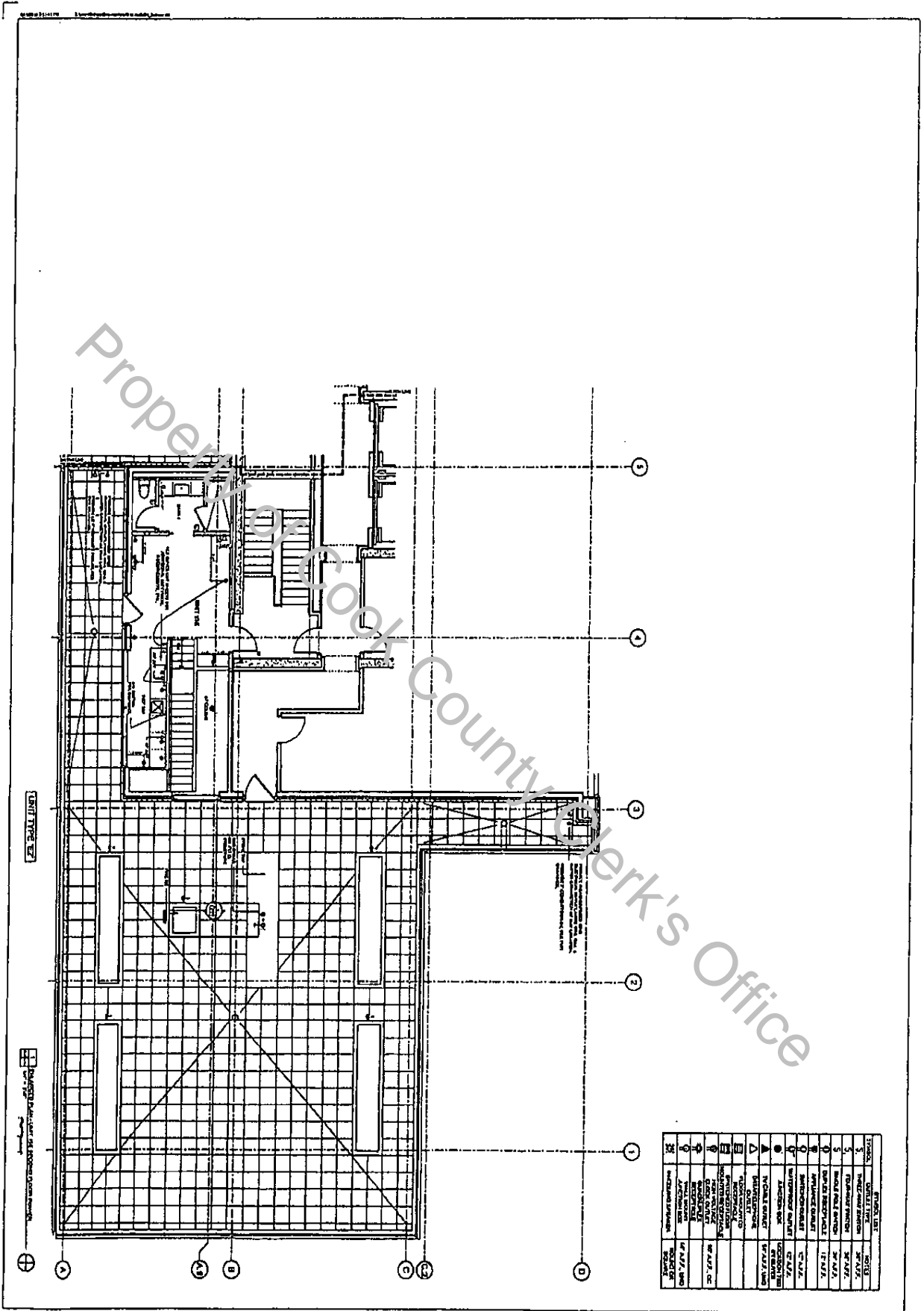
- 85
- 125
- 250

- 2700K
- 4000K
- 5000K

9-15V

WWW.SPJLIGHTING.COM

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401 W. HURON
 UNIT 15E SECOND FLOOR - ENLARGED POWER PLAN

A6-16C

McCAUGHLIN
 ARCHITECTS

SONO CONSULTING INC.
 ENGINEERS

ASSOCIATION ASSOCIATES
 ENGINEERS

900
 ENGINEERS

UNIT 15E SECOND FLOOR - ENLARGED POWER PLAN

DATE: 10/15/16

SCALE: AS SHOWN

PROJECT NO: 16-001

CLIENT: 401 W. HURON

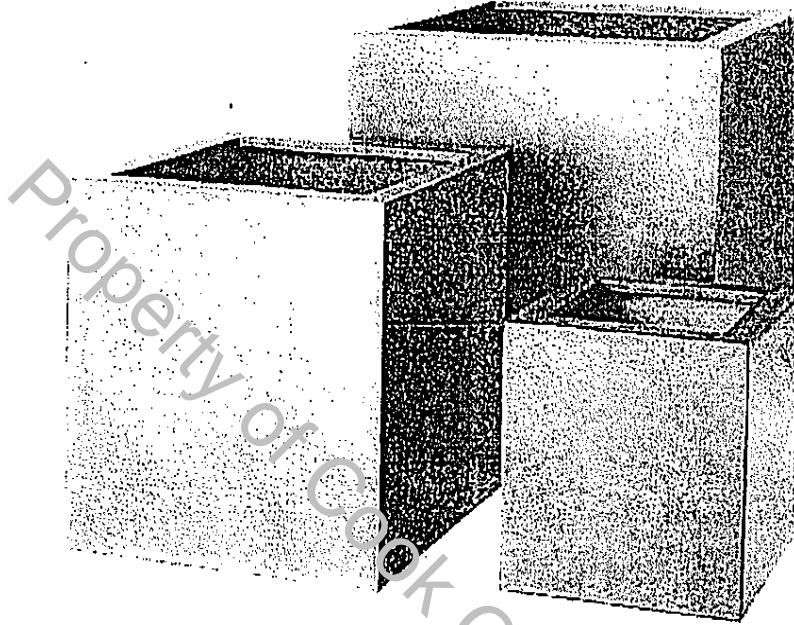
DESIGNED BY: [Signature]

CHECKED BY: [Signature]

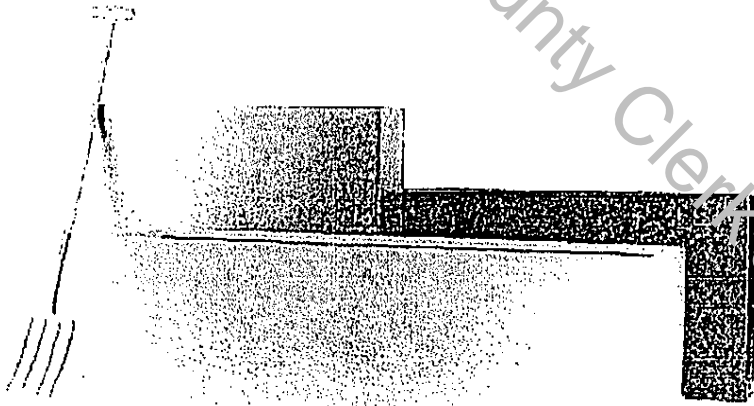
DATE: 10/15/16

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Planter Options



Fiberglass Square Planters



Trough Planters

All Planters to be in Black – not color shown

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STATE OF ILLINOIS)
)SS
COUNTY OF COOK)

I, Robert McGeeney, am the President of the Board of Managers of 400 West Huron Condominiums Association, an Illinois not-for-profit corporation and condominium established by the aforesaid Declaration, and by my signature below do hereby execute the foregoing Sixth Amendment to the Declaration pursuant to Article 15, Section 15.6 of the Declaration and Section 17 of the Illinois Condominium Property Act.

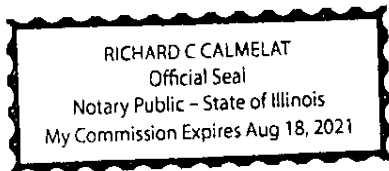
EXECUTED this 17th day of May __, 2018.

BY: Robert J McGeeney
President

Acknowledgment
(In A Representative Capacity)

This instrument was acknowledged before me May 17, 2018 by Robert McGeeney as President of 400 West Huron Condominiums.

Richard C Calmelat
Notary Public Signature



Property of Cook County Clerk's Office

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CERTIFICATION AS TO UNIT OWNER APPROVAL

STATE OF ILLINOIS)
)SS
COUNTY OF COOK)

I, Dana Dressler, state that I am the Secretary of the Board of Managers of 400 West Huron Condominiums Association, an Illinois not-for-profit corporation and condominium, and as such Secretary and the keeper and custodian of the books and records of said condominium, I hereby certify that the foregoing amendment was approved by Unit Owners having, in the aggregate, at least sixty-seven percent (67%) of the total vote, at a special meeting of the Unit Owners duly noticed, convened and held for that purpose on March 28, 2018 at which a quorum was present throughout, and that such approval by the Unit Owners has not been altered, modified or rescinded in any manner but remains in full force and effect.

BY: Dana Dressler
Secretary

DATE: May 17, 2018

Secretary of Cook County Clerk's Office

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AFFIDAVIT OF NOTICE TO ELIGIBLE MORTGAGEES

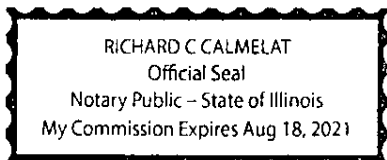
STATE OF ILLINOIS)
)SS
COUNTY OF COOK)

I, Dana Dressler, being first duly sworn on oath, depose and state that I am the Secretary of the Board of Managers of 400 West Huron Condominiums Association, an Illinois not-for-profit corporation and condominium, and that pursuant to Article 15, Section 15.6 of the Declaration of Condominium Ownership for said condominium, written notice of the foregoing amendment has been sent by certified mail to all Eligible Mortgagees of record against any Unit in the aforesaid condominium, prior to the date of this affidavit.

Dana Dressler
Secretary

SUBSCRIBED AND SWORN to
before me this 17 day
of May , 2018

Richard C Calmelat
Notary Public



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EXHIBIT 1 LEGAL DESCRIPTION

LOTS 23 TO 28 BOTH INCLUSIVE, IN BLOCK 7 IN HIGGINS LAW AND CO'S ADDITION TO CHICAGO IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN;

EXCEPT:

RETAIL PARCEL 1:

THAT PART LOTS 23 TO 28 BOTH INCLUSIVE, LYING BELOW A HORIZONTAL PLANE HAVING AN ELEVATION OF +34.26 FEET CHICAGO CITY DATUM AND LYING ABOVE A HORIZONTAL PLANE HAVING AN ELEVATION OF +13.94 FEET CHICAGO CITY DATUM AND LYING WITHIN ITS HORIZONTAL BOUNDARY PROJECTED VERTICALLY, IN BLOCK 7 IN HIGGINS LAW AND CO'S ADDITION TO CHICAGO IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 28; THENCE NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF LOTS 27 AND 28 AFORESAID 41.17 FEET; THENCE NORTH 00°01'42" WEST 57.11 FEET; THENCE NORTH 90°00'00" WEST 7.10 FEET; THENCE NORTH 00°01'42" WEST 2.23 FEET; THENCE NORTH 90°00'00" WEST 8.42 FEET; THENCE NORTH 00°01'42" WEST 8.71 FEET; THENCE SOUTH 90°00'00" EAST 56.69 FEET TO A POINT ON THE EAST LINE OF SAID LOT 28; THENCE SOUTH 00°01'42" EAST ALONG THE EAST LINE OF LOT 28 AFORESAID 68.05 FEET TO THE POINT OF BEGINNING;

ALSO EXCEPT:

RETAIL PARCEL 2:

THAT PART LOTS 23 TO 28 BOTH INCLUSIVE, LYING BELOW A HORIZONTAL PLANE HAVING AN ELEVATION OF +13.94 FEET CHICAGO CITY DATUM AND LYING ABOVE A HORIZONTAL PLANE HAVING AN ELEVATION OF +2.42 FEET CHICAGO CITY DATUM AND LYING WITHIN ITS HORIZONTAL BOUNDARY PROJECTED VERTICALLY, IN BLOCK 7 IN HIGGINS LAW AND CO'S ADDITION TO CHICAGO IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 28; THENCE NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF LOT 28 AFORESAID 17.95 FEET; THENCE NORTH 00°01'42" WEST 20.46 FEET TO THE POINT OF BEGINNING; THENCE NORTH 90°00'00" WEST 40.57' FEET; THENCE NORTH 00°01'42" WEST 28.75 FEET; THENCE NORTH 90°00'00" WEST 30.31 FEET; THENCE NORTH 00°01'42" WEST 18.84 FEET; THENCE SOUTH 90°00'00" EAST 70.88 FEET; THENCE SOUTH 00°01'42" EAST 47.59 FEET TO THE POINT OF BEGINNING;

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ALL IN COOK COUNTY, ILLINOIS

Commonly Known As: 400-410 West Huron Street, Chicago, IL 60654

Permanent Index Number: 17-09-120-013-0000
through and including: 17-09-120-014-0000

Property of Cook County Clerk's Office

COOK COUNTY
RECORDER OF DEEDS

COOK COUNTY
RECORDER OF DEEDS