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2031310125

Doc# 2031310125 Fee \$88.00

RHSP FEE:\$9.00 RPRF FEE: \$1.00

EDWARD M. MOODY

COOK COUNTY RECORDER OF DEEDS

DATE: 11/10/2020 01:26 PM PG: 1 OF 4

WHEN RECORDED MAIL TO:
~~LAKESIDE BANK~~
~~Loan Operations~~
~~1055 W ROOSEVELT RD~~
~~CHICAGO, IL 60608~~
Freedom Title Corporation
2220 Hicks Road
Suite 206
Rolling Meadows, IL 60008

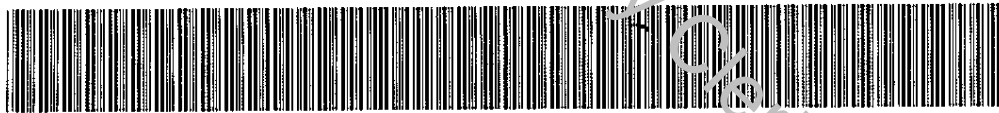
SEND TAX NOTICES TO:
LAKESIDE BANK
UIC/NEAR WEST
1055 W ROOSEVELT RD
CHICAGO, IL 60608

FOR RECORDER'S USE ONLY

This Modification of Mortgage prepared by:
Kim M. Pietrzak
Lakeside Bank
1055 W Roosevelt
Chicago, IL 60608

6821553-799
14/22

MODIFICATION OF MORTGAGE



#####074004012020#####

THIS MODIFICATION OF MORTGAGE dated April 1, 2020, is made and executed between AVALON REAL ESTATE LUCID LLC, whose address is 1017 North Riverwalk, Chicago, IL 60610 (referred to below as "Grantor") and Lakeside Bank, whose address is 1055 W Roosevelt, Chicago, IL 60608 (referred to below as "Lender").

MORTGAGE. Lender and Grantor have entered into a Mortgage dated October 1, 2018 (the "Mortgage") which has been recorded in Cook County, State of Illinois, as follows:

Recorded at the Cook County Recorder of Deeds on October 2, 2018 as Document Number 1827533115.

REAL PROPERTY DESCRIPTION. The Mortgage covers the following described real property located in Cook County, State of Illinois:

UNIT NUMBERS 19A AND 19B IN 1410 NORTH STATE PARKWAY CONDOMINIUM, AS DELINEATED ON A SURVEY OF THE FOLLOWING DESCRIBED REAL ESTATES: LOTS 15 TO 18, IN LOT "A" OF BLOCK 2 IN THE SUBDIVISION OF LOT "A" OF BLOCK 1 AND LOT "A" OF BLOCK 2, IN THE CATHOLIC BISHOP OF CHICAGO, A SUBDIVISION OF LOT 13, IN BRONSON'S ADDITION TO CHICAGO, IN THE NORTH EAST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN; IN COOK COUNTY, ILLINOIS, WHICH SURVEY IS ATTACHED AS EXHIBIT "A" TO THE DECLARATION OF CONDOMINIUM RECORDED AS DOCUMENT 25784879, AS AMENDED FROM TIME TO TIME TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS, IN COOK COUNTY.

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UNOFFICIAL COPY**MODIFICATION OF MORTGAGE**

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ILLINOIS.

The Real Property or its address is commonly known as 1410 North State Parkway, #19AB, Chicago, IL 60610. The Real Property tax identification number is 17-04-211-036-1033 and 17-04-211-036-1034.

MODIFICATION. Lender and Grantor hereby modify the Mortgage as follows:

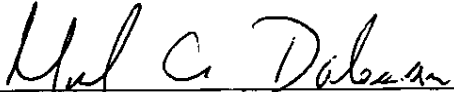
The maturity date of the loan is hereby extended to August 1, 2020. All other terms and conditions of the loan documents shall remain in full force and effect.

CONTINUING VALIDITY. Except as expressly modified above, the terms of the original Mortgage shall remain unchanged and in full force and effect and are legally valid, binding, and enforceable in accordance with their respective terms. Consent by Lender to this Modification does not waive Lender's right to require strict performance of the Mortgage as changed above nor obligate Lender to make any future modifications. Nothing in this Modification shall constitute a satisfaction of the promissory note or other credit agreement secured by the Mortgage (the "Note"). It is the intention of Lender to retain as liable all parties to the Mortgage and all parties, makers and endorser to the Note, including accommodation parties, unless a party is expressly released by Lender in writing. Any maker or endorser, including accommodation makers, shall not be released by virtue of this Modification. If any person who signed the original Mortgage does not sign this Modification, then all persons signing below acknowledge that this Modification is given conditionally, based on the representation to Lender that the non-signing person consents to the changes and provisions of this Modification or otherwise will not be released by it. This waiver applies not only to any initial extension or modification, but also to all such subsequent actions.

GRANTOR ACKNOWLEDGES HAVING READ ALL THE PROVISIONS OF THIS MODIFICATION OF MORTGAGE AND GRANTOR AGREES TO ITS TERMS. THIS MODIFICATION OF MORTGAGE IS DATED APRIL 1, 2020.

GRANTOR:

AVALON REAL ESTATE LUCID LLC

By: 

Michael A. Dalesandro, Sole Member/Manager of AVALON
REAL ESTATE LUCID LLC

LENDER:

LAKESIDE BANK

X 

Authorized Signer

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MODIFICATION OF MORTGAGE

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LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

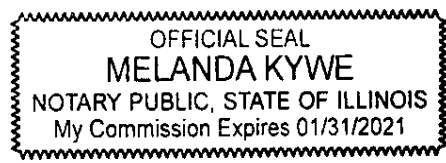
STATE OF IL)
) SS
 COUNTY OF Cook)

On this 8th day of May, 2020 before me, the undersigned Notary Public, personally appeared **Michael A. Dalesandro, Sole Member/Manager of AVALON REAL ESTATE LUCID LLC**, and known to me to be a member or designated agent of the limited liability company that executed the Modification of Mortgage and acknowledged the Modification to be the free and voluntary act and deed of the limited liability company, by authority of statute, its articles of organization or its operating agreement, for the uses and purposes therein mentioned, and on oath stated that he or she is authorized to execute this Modification and in fact executed the Modification on behalf of the limited liability company.

By Melanda Kywe Residing at Lakeside Bank

Notary Public in and for the State of IL

My commission expires 01/31/2021



Cook County Clerk's Office

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MODIFICATION OF MORTGAGE (Continued)

LENDER ACKNOWLEDGMENT

STATE OF IL)
) SS
 COUNTY OF COOK)

On this 8th day of May, 2020 before me, the undersigned Notary Public, personally appeared Jonathan Demas and known to me to be the Comm. Loan Officer, authorized agent for **Lakeside Bank** that executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of **Lakeside Bank**, duly authorized by **Lakeside Bank** through its board of directors or otherwise, for the uses and purposes therein mentioned, and on oath stated that he or she is authorized to execute this said instrument and in fact executed this said instrument on behalf of **Lakeside Bank**.

By Melanda Kywe Residing at Lakeside Bank

Notary Public in and for the State of IL

My commission expires 01/31/2021

