

# UNOFFICIAL COPY

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P20-61607FA

Doc# 2031313111 Fee: \$98.00  
Edward M. Moody  
Cook County Recorder of Deeds  
Date: 11/10/2020 10:59 AM Pg: 1 of 3

Dec ID 20200801671071  
ST/CO Stamp 0-601-262-560 ST Tax \$281.00 CO Tax \$140.50  
City Stamp 1-138-133-472 City Tax: \$2,950.50

## WARRANTY DEED ILLINOIS STATUTORY

Mail To:

Linda Stockton

5248 N. Paulina St. #2

Chicago, IL 60640

Name & Address of Taxpayer:

Linda Stockton

5248 N. Paulina St., #2

Chicago, IL, 60640

Prepared by: *Hawbecker and Garver, LLC, 26 Blaine Street, Hinsdale, IL 60521*

THE GRANTOR(S) Scott Malone, an unmarried man of 5248 N. Paulina St., #2, Chicago, State of Illinois, 60640, for and in consideration of Ten and 00/100 Dollars, and other good and valuable consideration in hand paid, CONVEY(S) and WARRANT(S) to Linda Stockton, \_\_\_\_\_,

(BUYER'S ATTORNEY OR BUYER: CHECK APPLICABLE AND STRIKE ALL OTHERS)

Individually

as Tenants in Common

as Joint Tenants

not as joint tenants, nor tenants in common, but as Tenants by the Entirety

Whose address is 1360 W. Estes, Unit 2N, Chicago, IL, all interest in the following described Real Estate situated in the County of Cook, in the State of Illinois, to wit:

SEE LEGAL DESCRIPTION ATTACHED AS EXHIBIT A

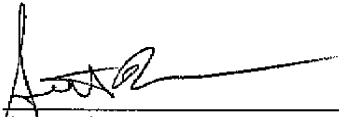
hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

SUBJECT TO: covenants, conditions and restrictions of record and building lines and easements, if any, provided they do not interfere with the current use and enjoyment of the Real Estate; and general real estate taxes not due and payable at the time of Closing.

Permanent Real Estate Index Number: 14-07-223-031-1002  
Address of Real Estate: 5248 N. Paulina St., #2, Chicago, IL, 60640

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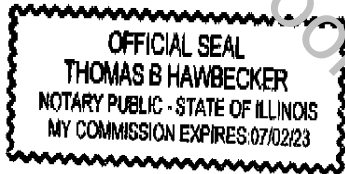
Dated this 18 day of Aug, 20 20.

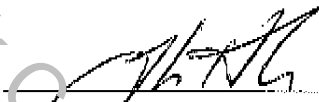
  
\_\_\_\_\_  
Scott Malone

STATE OF ILLINOIS, COUNTY OF Cook ss.

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, CERTIFY THAT **Scott Malone**, personally known to me to be the same person(s) whose name(s) is/are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he/she/they signed, sealed and delivered the said instrument as his/her/ their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal, this 18 day of Aug, 20 20.



  
\_\_\_\_\_  
(Notary Public)

PROPERTY OF COOK COUNTY CLERK'S OFFICE

# UNOFFICIAL COPY

## Exhibit A

**Unit Number 5248-2 in the 5248-56 N. Paulina Condominium, as delineated on a Survey of the following described tract of land:**

**Lots 1 and 2 in Block 26 in Mount Pleasant Subdivision of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 7, Township 40 North, Range 14, East of the Third Principal Meridian;**

**Which Survey is attached as Exhibit "B" to the Declaration of Condominium recorded as Document Number 0421745121, together with its undivided percentage interest in the common elements, in Cook County, Illinois.**

Property of Cook County Clerk's Office