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Doc# 2317134074 Fee \$127.00

KAREN A. YARBROUGH

COOK COUNTY CLERK

DATE: 06/20/2023 03:22 PM PG: 1 OF 39

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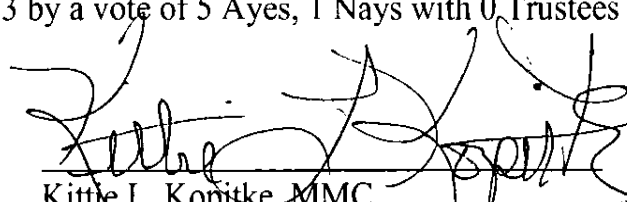
CERTIFICATION

I, Kittie L. Kopitke, do hereby certify that I am the duly elected Village Clerk of the Village of Streamwood, Cook County, Illinois, and the keeper of the books and records of the Village of Streamwood, and I do hereby certify that Ordinance Number 2023-2 is the true and correct copy of an Ordinance presented, passed and recorded by the President and Board of Trustees of the Village of Streamwood on the 19th day of January, 2023 by a vote of 5 Ayes, 1 Nays with 0 Trustees absent.

RECORDING FEE 127.00

DATE 6-20-23 COPIES 6X

OK BY JP


 Kittie L. Kopitke, MMC
 Village Clerk

AFTER RECORDING – PLEASE RETURN TO
 KITTIE L. KOPITKE, VILLAGE CLERK
 VILLAGE OF STREAMWOOD
 301 EAST IRVING PARK RD
 STREAMWOOD IL 60107

Prepared by



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VILLAGE OF STREAMWOOD

ORDINANCE NO. 2023 - 2

AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF A THIRTEENTH AMENDMENT TO AN EXISTING PLANNED UNIT DEVELOPMENT AGREEMENT FOR THE WESTVIEW SHOPPING CENTER

ADOPTED BY THE BOARD OF TRUSTEES
OF THE VILLAGE OF STREAMWOOD
THIS 19th DAY OF January, 2023

Published in pamphlet form by authority of the Board of Trustees
of the Village of Streamwood, Cook County, Illinois
this 19th day of January, 2023

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ORDINANCE NO. 2023 - 2

**AN ORDINANCE APPROVING AND AUTHORIZING THE EXECUTION OF A
THIRTEENTH AMENDMENT TO AN EXISTING PLANNED UNIT DEVELOPMENT
AGREEMENT FOR THE WESTVIEW SHOPPING CENTER**

WHEREAS, the Village of Streamwood ("Village") and Core MR Westview LLC, entered into a Planned Development Agreement dated January 27, 1988, pursuant to Village of Streamwood Ordinance 1988-1; and

WHEREAS, subsequent to the adoption of Ordinance 1988-1, the Planned Development Agreement has been amended twelve (12) times; and

WHEREAS, ALDI, Inc. has petitioned for a modification to the Planned Unit Development approved by Ordinance 1988-1, to allow for the modifications to the site's existing building and signage; and

WHEREAS, the Thirteenth Amendment to a Planned Unit Development Agreement for Westview Shopping Center, having been previously reviewed, sets forth all agreements between the parties; and

WHEREAS, Diehl, LLC, a Georgia limited liability company ("Developer"), is ready, willing and able to enter into the Thirteenth Amendment to a Planned Unit Development Agreement for Westview Shopping Center and to perform the obligations as required therein; and

WHEREAS, notice of a public hearing on said application was duly published on December 5, 2022, in the *Daily Herald* of Paddock Publications, Inc., being a newspaper having general

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circulation within the Village, as required by Illinois Statute and the ordinances of the Village of Streamwood; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Board on said application on December 20, 2022, at which hearing the Plan Commission forwarded its recommendation for approval of the application to the President and Board of Trustees of the Village of Streamwood; and

WHEREAS, the Village Board has duly considered the Plan Commission's findings and recommendations, and the requested Thirteenth Amendment to a Planned Unit Development Agreement for Westview Shopping Center

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Streamwood, Cook County, Illinois as follows:

SECTION ONE: The facts and statements contained in the preambles to this Ordinance are considered true and accurate and are hereby incorporated as part of this Ordinance.

SECTION TWO: The document known as " Thirteenth Amendment to a Planned Unit Development Agreement for Westview Shopping Center," a copy of which is attached hereto as Exhibit "A" and made a part hereof, is hereby approved and the Village President and Village Clerk are hereby authorized and directed to execute on behalf of the Village, and attest to, respectively, said Thirteenth Amendment to a Planned Unit Development Agreement for Westview Shopping Center.

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SECTION THREE: The terms and provisions of the Planned Development Agreement, except as otherwise amended by Amendments One (1) through Thirteen (13), inclusive of the Planned Unit Development Agreement, shall remain in full force and effect.

SECTION FOUR: All ordinances and resolutions, or parts thereof, in conflict with the provisions of this ordinance are, to the extent of such conflict, expressly repealed.

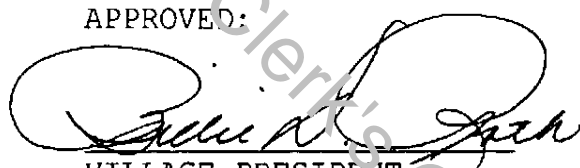
SECTION FIVE: This ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form, as provided by law.

ROLL CALL VOTE:

AYES	<u>5</u>
NAYS	<u>0</u>
ABSTENTIONS	<u>0</u>
ABSENT	<u>1</u>

PASSED AND APPROVED this 19th day of January, 2023.

APPROVED:


VILLAGE PRESIDENT

ATTEST:


VILLAGE CLERK

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Exhibit A

Thirteenth Amendment to a Planned Development Agreement for Westview Shopping Center

COOK COUNTY CLERK'S OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

COOK COUNTY CLERK'S OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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THIRTEENTH AMENDMENT TO A PLANNED UNIT DEVELOPMENT AGREEMENT FOR WESTVIEW SHOPPING CENTER

This Thirteenth Amendment to the planned unit development agreement for **WESTVIEW SHOPPING CENTER** (hereinafter referred to as the “**Agreement**”) by and between the **Village of Streamwood**, a municipal corporation of the County of Cook, State of Illinois (hereinafter referred to as the “**Village**”) by and through the President and Board of Trustees of the Village (hereinafter collectively referred to as the “**Corporate Authorities**”) and **Diehl LLC**, a Georgia limited liability company as the (hereinafter referred to as the “**Developer**”), is made and entered into this 19th day of January, 2023.

WITNESSETH:

WHEREAS, the Developer currently owns the subject property (hereinafter referred to as the “**Property**”) legally described on Exhibit A; and

WHEREAS, the Property is subject to a planned unit development authorized by the Village and the Corporate Authorities on January 26, 1988 by Ordinance 1988-1; and

WHEREAS, the Original Agreement has been amended twelve (12) times previously with the first amendment on March 28, 1989 by Ordinance 1989 -15, the second amendment on February 17, 1994 by Ordinance 1994-5, the third amendment on May 15, 1997, by Ordinance 1997-25, the fourth amendment on December 21, 2000 by Ordinance 2000-59, the fifth amendment on April 1, 2004 by Ordinance 2004-12, the sixth amendment on November 19, 2009 by Ordinance 2009-28, the seventh amendment on June 6, 2013 by Ordinance 2013-13, the eighth amendment on June 7, 2018 by Ordinance 2018-15, the ninth amendment on January 17, 2019 by Ordinance 2019-5, the tenth amendment on March 7, 2019 by Ordinance 2019-10, the eleventh amendment on August 5, 2021 by Ordinance 2021-13, and the twelfth amendment on November 17, 2022 by Ordinance 2022-33 (hereinafter collectively referred to as the “**Amendments**”, and together with the original planned development agreement, collectively referred to herein as the “**Planned Development Agreement**”);

WHEREAS, the Village has established a C-3 Highway Commercial zoning classification with a special use as a commercial planned unit development for the property pursuant to the original terms and conditions of the Ordinance and all subsequent Amendments thereto; and

WHEREAS, the Developer desires and proposes to amend said Original Agreement to allow for modifications to the former 79,000 square foot Value City Department store tenant space commonly known as 960 S. Barrington Road on the Property, which shall include demising the interior of the building into three smaller tenant spaces, adding a new truck dock onto the rear of the building, replacing the existing monument sign along Barrington Road, and altering the exterior façade of the building to accommodate the new tenant spaces, including a new ALDI grocery store; and

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WHEREAS, this Agreement was submitted to the Corporate Authorities and a public hearing was held on December 20, 2022, thereon pursuant to notice as provided by ordinance; and

WHEREAS, pursuant to due notice and advertisement published in the Daily Herald on December 5, 2022, the Planning & Zoning Board of the Village held the public hearing and made their recommendations with respect to this Thirteen Amendment of the Planned Development Agreement; and

WHEREAS, the Corporate Authorities after due and careful consideration have concluded that the zoning and development of the Property on the terms and conditions herein set forth would further enable the Village to control the development of the area and would serve the best interests of the Village.

NOW, THEREFORE, in consideration of the premises, mutual covenants and agreements herein set forth, the Corporate Authorities, the Developer hereto agrees as follows:

1. **Recitals.** The above recitals are hereby incorporated into and made a part of the Agreement.

2. **Compliance with the Agreement.** Except as amended herein, and except as otherwise modified by Amendments One (1) through Twelve (12) of the Planned Development Agreement, all provisions of the Ordinance 1988-1 shall apply.

3. **Approval of Uses.** The Corporate Authorities hereby approve the following site improvement uses of the Property and the Planned Unit Development:

- A. Demising the existing building's interior into three smaller tenant spaces.
- B. Adding a new truck dock onto the rear of the building.
- C. Altering the exterior facade of the building to accommodate three new tenants, including an ALDI grocery store.
- D. Replacing the existing monument sign at the corner of Barrington Road and Ramblewood Drive.

4. **Site Improvements.** The proposed Site Improvements shall be constructed by the Developer in substantial conformance with Exhibits B through I, which are set forth herein and attached hereto.

5. **Amendments.** A record owner of fee simple title to any parcel or platted lot of the Property has the sole right to seek an amendment to this Agreement, which amendment shall not require the approval of any other record owner(s) of fee simple title to any other parcel or platted Lot of the Property, so long as such amendment does not materially diminish any of the rights, or materially increase the obligations of such other record owner(s) under this Agreement. In such circumstances, an amendment to this Agreement may be made upon approval by ordinance and execution by the Village and the record owner(s) to which the amendment relates.

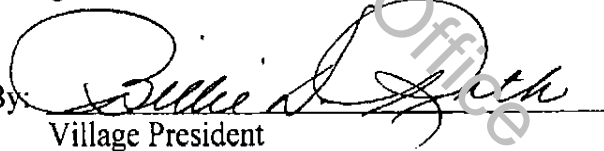
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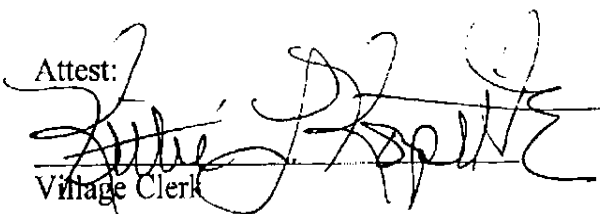
6. **Exhibits.** The following exhibits (hereinafter referred to as the "Exhibits"), some of which were presented in testimony given by the Developer or the witnesses during the hearings held before the Planning & Zoning Board and the Corporate Authorities prior to the execution of this Agreement, are hereby incorporated by reference herein and made a part hereto as shown below. This Agreement, upon execution by the Corporate Authorities, Owner, and the Developer, together with copies of all Exhibits, shall be kept on file with the Village Clerk and be available for inspection by the parties hereto.

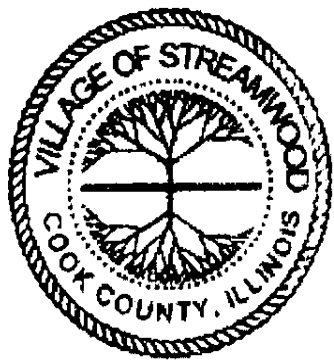
- Exhibit A** Legal Description of the Property
- Exhibit B** Final Engineering Plans by RWG Engineering, LLC, dated July 11, 2022, with a final revision date of January 16, 2023, consisting of 6 sheets.
- Exhibit C** Truck Maneuvering Exhibit by RWG Engineering, LLC, dated July 18, 2022, consisting of 1 sheet.
- Exhibit D** Site Plan by RWG Engineering, LLC, dated October 18, 2022, consisting of 1 sheet.
- Exhibit E** Operations Plan by APD Engineering Architecture, dated October 23, 2018, consisting of 1 sheet.
- Exhibit F** Exterior Elevations by APD Engineering Architecture, dated October 23, 2018, consisting of 1 sheet.
- Exhibit G** Landscape Plans by Gary R. Weber Associates, Inc., dated July 18, 2022, consisting of 2 sheets.
- Exhibit H** Photometric Plan by Cree Lighting, dated October 6, 2022, consisting of 1 sheet.
- Exhibit I** Signage Plans by Doyle General Sign Contractors, dated August 15, 2022, consisting of 7 sheets.

IN WITNESS WHEREOF, the Corporate Authorities, the Owner and the Developer hereto have entered into this Agreement the date and year first above written.

Village of Streamwood

By: 
Village President

Attest: 
Village Clerk

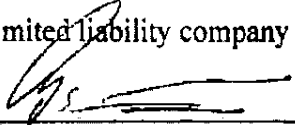


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COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Developer

Diehl, LLC
a Georgia limited liability company

By: 

Name: R. D. SHARMA

Title: MANAGER

Property of Cook County Clerk

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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Exhibit A

Legal Description of the Property

Lots 2, 8, and 9 in Westview Center Subdivision, being a subdivision located in the east half of the northeast quarter of Section 25, Township 41 North, Range 9 East of the Third Principal Meridian, according to the plat thereof recorded September 19, 1989, as Document No. 89440939 (and the ratification thereof recorded May 29, 1990, as Document No. 90247258), in Cook County, Illinois.

P.I.N.s: 06-25-202-005, 06-25-202-011, and 06-25-202-012.

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Exhibit B

Final Engineering Plans

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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DATE	11/15/22
BY	ALDI INC.
FOR	ALDI INC.
PROJECT	ALDI INC. - STORE #22
LOCATION	STREAMWOOD, ILLINOIS
SCALE	AS SHOWN
REVISIONS	

ALDI INC. - STORE #22
 STREAMWOOD, ILLINOIS
 EXISTING CONDITIONS/DEMOLITION PLANS



Engineering, LLC
 875 E. ZION ST. SUITE 400
 WENZHO, IL 60189
 (630) 271-7888



PROJECT NO.	
DATE	
SCALE	
BY	
FOR	
REVISIONS	

2 - 6

DEMOLITION LEGEND

- PERMANENT PAINT REMOVAL
- PERMANENT EXTERIOR FINISH REMOVAL
- PERMANENT INTERIOR FINISH REMOVAL
- PERMANENT ROOF FINISH REMOVAL
- PERMANENT CURB FINISH REMOVAL
- PERMANENT DRIVE FINISH REMOVAL
- PERMANENT SIDEWALK FINISH REMOVAL
- PERMANENT ASPHALT FINISH REMOVAL
- PERMANENT CONCRETE FINISH REMOVAL
- PERMANENT BRICK FINISH REMOVAL
- PERMANENT STONE FINISH REMOVAL
- PERMANENT TILE FINISH REMOVAL
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- PERMANENT ROOF STRUCTURE FINISH REMOVAL
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DEMOLITION SCHEDULE

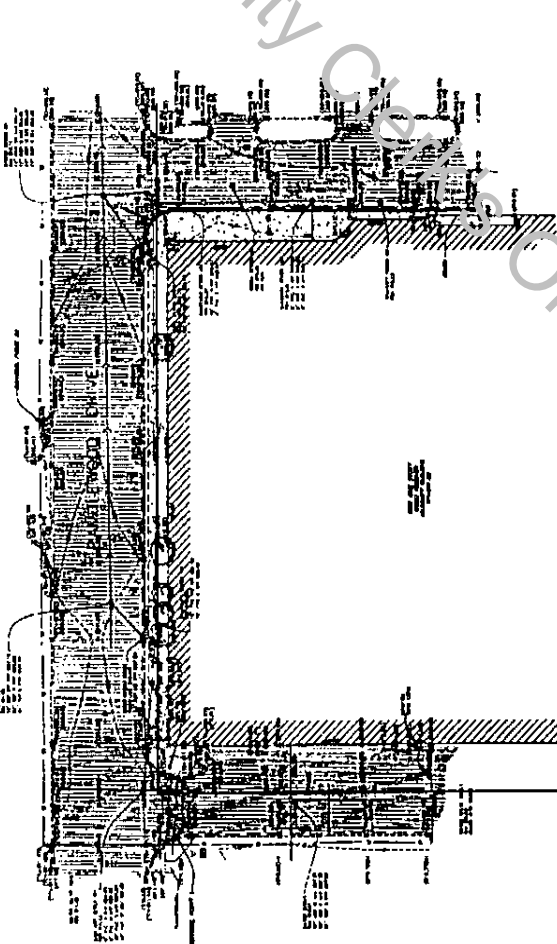
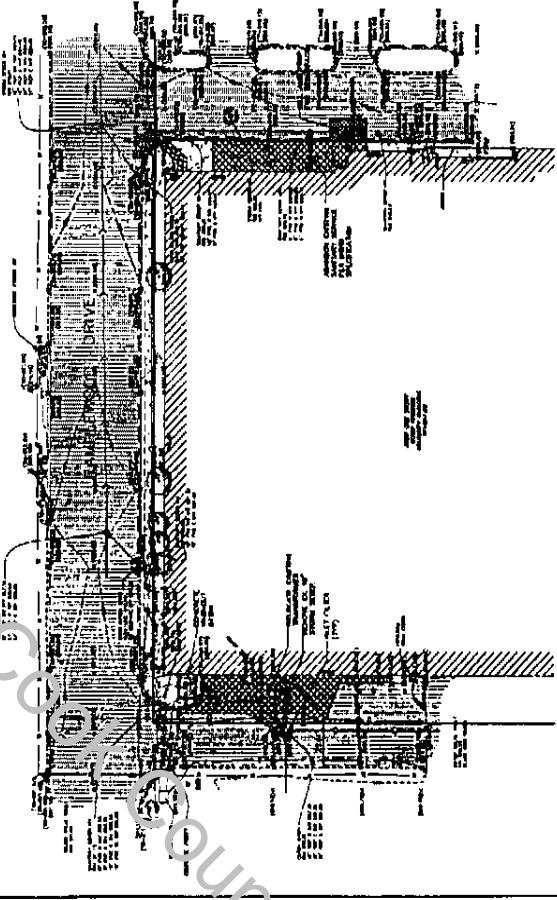
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GENERAL NOTES:

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- REMOVE EXISTING HVAC FINISH TO EXPOSE SUBGRADE.

EXISTING CONDITIONS

DEMOLITION/SECC PLAN



DEMOLITION/SECC PLAN

EXISTING CONDITIONS

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ALDI INC. - STORE #22
SREAMWOOD, ILLINOIS
PROJECT NOTES AND SPECIFICATIONS/DETAILS

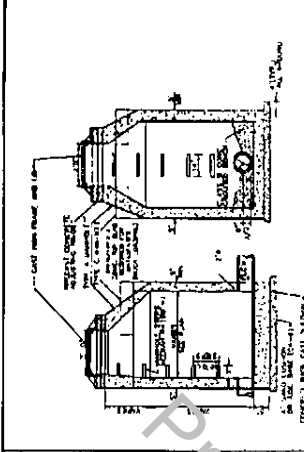


RMG
113 E. 20th St. Suite 400
Chicago, IL 60611
Tel: (773) 234-7600
Fax: (773) 234-7601
www.rmg.com

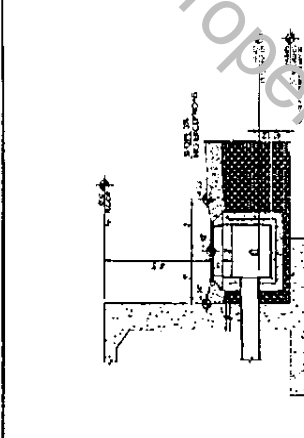
Engineering, LLC



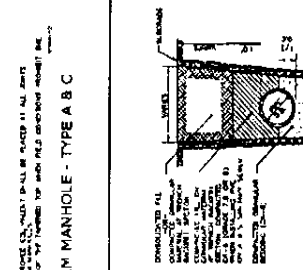
DATE: 02/22/2011
BY: [Signature]
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SCALE: AS SHOWN
SHEET: 5 of 6



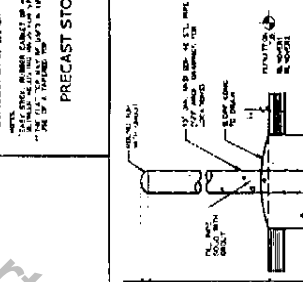
PRECAST STORM MANHOLE - TYPE A & B
NOTE: PRECAST STORM MANHOLES SHALL BE PLACED AT ALL POINTS WHERE THE SEWER MAINS CROSS UNDER PASSEYS, DRIVEWAYS, SIDEWALKS, AND OTHER PAVED AREAS. MANHOLES SHALL BE CONCRETE AND SHALL BE 18" DIA. UNLESS OTHERWISE SPECIFIED. MANHOLES SHALL BE 18" DIA. UNLESS OTHERWISE SPECIFIED.



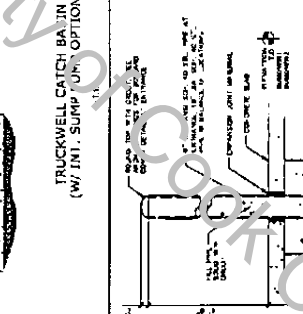
TRUCKWELL CATCH BASIN
(W/ INT. SUMP PUMP OPTION)



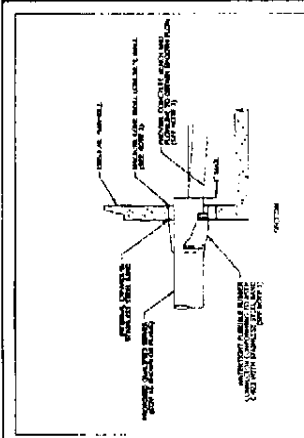
SEWER AND WATERMAIN
BEDDING AND BACKFILL



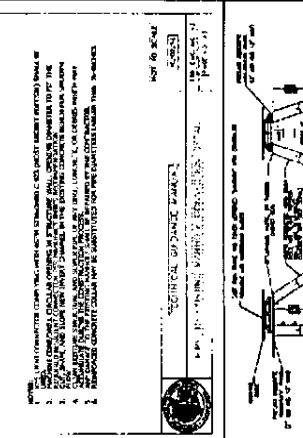
TRANSFORMER PADS AND FOUNDATIONS



B6.12 CONCRETE CURB & GUTTER



TECHNICAL DRAWING MANHOLE
SANITARY MANHOLE 'A' AND 'B' DETAIL



TECHNICAL DRAWING MANHOLE
SANITARY MANHOLE 'A' AND 'B' DETAIL

1. ALL CONCRETE SHALL BE 3000 PSI STRENGTH, TYPE I, COMPACTED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY.

2. ALL CONCRETE SHALL BE 3000 PSI STRENGTH, TYPE I, COMPACTED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY.

3. ALL CONCRETE SHALL BE 3000 PSI STRENGTH, TYPE I, COMPACTED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY.

4. ALL CONCRETE SHALL BE 3000 PSI STRENGTH, TYPE I, COMPACTED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY. ALL CONCRETE SHALL BE PLACED IN PLACE AND CURED PROPERLY.

UNOFFICIAL COPY

DATE	12/20/11
BY	ALDI
CHKD BY	ALDI
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI

ALDI INC. - STORE #22
 STREAMWOOD, ILLINOIS
 MWRD TYPICAL GENERAL NOTES



Engineering, LLC
 755 E. 22nd St., Suite 400
 Streamwood, IL 60161
 630.474.7496



PROJECT NO.	
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI
DATE	12/20/11
BY	ALDI
CHKD BY	ALDI

6 of 9

STD. DWG. NO. 18
 PAGE NO. 19
 01/12/2015

1. THE CONTRACTOR SHALL INSTALL ALL EXISTING AND NEW CONCRETE, REINFORCED CONCRETE AND CONCRETE WALLS AND CURBS TO THE SPECIFICATIONS AND CONDITIONS SET FORTH IN THIS MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	PRICE
101	CONCRETE WALL	100	LF	1.50
102	CONCRETE CURB	100	LF	1.00
103	CONCRETE SLAB	100	SQ. YD.	2.00
104	CONCRETE PAVEMENT	100	SQ. YD.	3.00
105	CONCRETE FINISH	100	SQ. YD.	0.50
106	CONCRETE CURB FINISH	100	LF	0.50
107	CONCRETE WALL FINISH	100	LF	0.50
108	CONCRETE SLAB FINISH	100	SQ. YD.	0.50
109	CONCRETE PAVEMENT FINISH	100	SQ. YD.	0.50
110	CONCRETE FINISH	100	SQ. YD.	0.50

2. ALL CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFICATIONS AND CONDITIONS SET FORTH IN THIS MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

TECHNICAL GUIDANCE MANUAL
 MWRD GENERAL NOTES

01/12/2015
 STD. DWG. NO. 18
 PAGE NO. 19

UNOFFICIAL COPY

Exhibit C

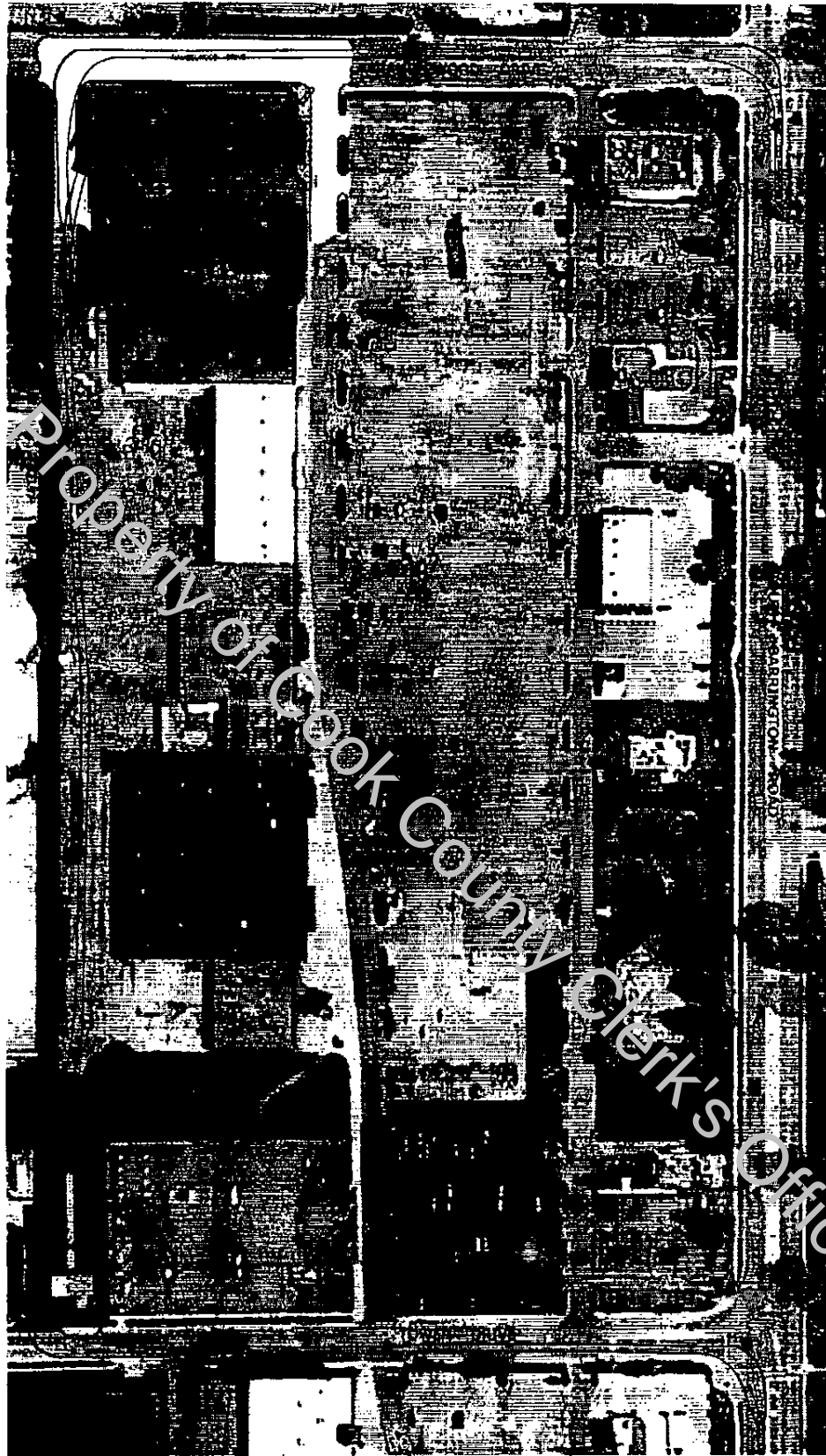
Truck Maneuvering Exhibit

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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Property of Cook County Clerk's Office



1	1
SHEET	

RWG Engineering, LLC
 975 E. 74th St, Suite 400
 Willow Springs, IL 60599
 630-460-7000
www.rwg-engineering.com

ALDI INC. - STORE #22
 STREAMWOOD, ILLINOIS
 TRUCK MANEUVERING EXHIBIT

DATE	REVISION	BY

UNOFFICIAL COPY

Exhibit D

Site Plan

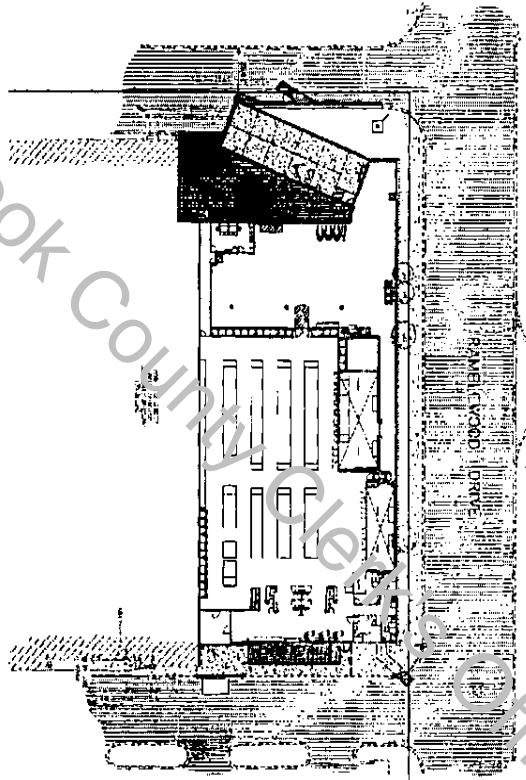
COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

UNOFFICIAL COPY

Property of Cook County Clerk's Office



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
7. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL CONSTRUCTION ACTIVITIES.
8. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.

LEGEND:

- 1. EXISTING BUILDING
- 2. EXISTING PARKING
- 3. EXISTING DRIVEWAY
- 4. EXISTING SIDEWALK
- 5. EXISTING CURB
- 6. EXISTING STREET
- 7. EXISTING UTILITY
- 8. EXISTING TREE
- 9. EXISTING LANDSCAPE
- 10. EXISTING FENCE
- 11. EXISTING SIGN
- 12. EXISTING LIGHT FIXTURE
- 13. EXISTING ELECTRICAL
- 14. EXISTING MECHANICAL
- 15. EXISTING PLUMBING
- 16. EXISTING STRUCTURE
- 17. EXISTING WALL
- 18. EXISTING FLOOR
- 19. EXISTING CEILING
- 20. EXISTING ROOF
- 21. EXISTING FOUNDATION
- 22. EXISTING FOOTING
- 23. EXISTING PILING
- 24. EXISTING BRACE
- 25. EXISTING TRUSS
- 26. EXISTING BEAM
- 27. EXISTING COLUMN
- 28. EXISTING WALL
- 29. EXISTING WINDOW
- 30. EXISTING DOOR
- 31. EXISTING STAIR
- 32. EXISTING ELEVATOR
- 33. EXISTING ESCAPE ROUTE
- 34. EXISTING FIRE ALARM
- 35. EXISTING SMOKE DETECTOR
- 36. EXISTING SPRINKLER
- 37. EXISTING EXTINGUISHER
- 38. EXISTING SIGN
- 39. EXISTING LIGHT FIXTURE
- 40. EXISTING ELECTRICAL
- 41. EXISTING MECHANICAL
- 42. EXISTING PLUMBING
- 43. EXISTING STRUCTURE
- 44. EXISTING WALL
- 45. EXISTING FLOOR
- 46. EXISTING CEILING
- 47. EXISTING ROOF
- 48. EXISTING FOUNDATION
- 49. EXISTING FOOTING
- 50. EXISTING PILING
- 51. EXISTING BRACE
- 52. EXISTING TRUSS
- 53. EXISTING BEAM
- 54. EXISTING COLUMN
- 55. EXISTING WALL
- 56. EXISTING WINDOW
- 57. EXISTING DOOR
- 58. EXISTING STAIR
- 59. EXISTING ELEVATOR
- 60. EXISTING ESCAPE ROUTE
- 61. EXISTING FIRE ALARM
- 62. EXISTING SMOKE DETECTOR
- 63. EXISTING SPRINKLER
- 64. EXISTING EXTINGUISHER

GRAPHIC SCALE: 1" = 10'-0"

COMPILED BY: RWG Engineering, LLC

DATE: 10/15/2023

1 of 1 SHEET

RWG Engineering, LLC
 875 N. 21st St., Suite 400
 Wheeling, IL 60090
 815-480-7800

ALDI INC. - STORE #22
 STREAMWOOD, ILLINOIS
 SITE PLAN

DATE: 10/15/2023

BY: [Signature]

SCALE: 1" = 10'-0"

PROJECT NO.: [Blank]

DATE PLOTTED: 10/15/2023

PLOTTED BY: [Blank]

SCALE: 1" = 10'-0"

PROJECT NO.: [Blank]

DATE PLOTTED: 10/15/2023

PLOTTED BY: [Blank]

UNOFFICIAL COPY

Exhibit E
Operations Plan

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

UNOFFICIAL COPY

Exhibit F

Exterior Elevations

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

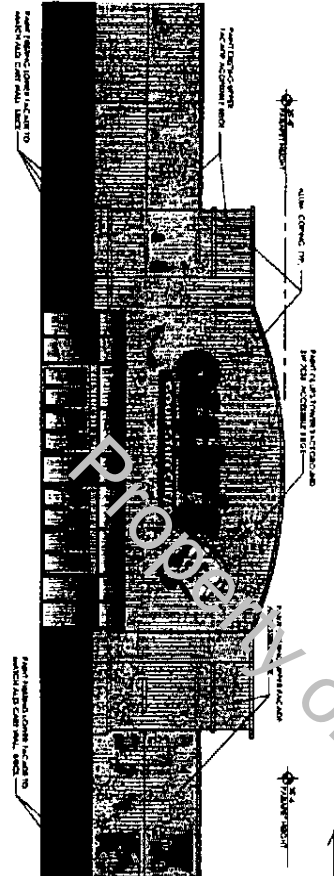
Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

UNOFFICIAL COPY

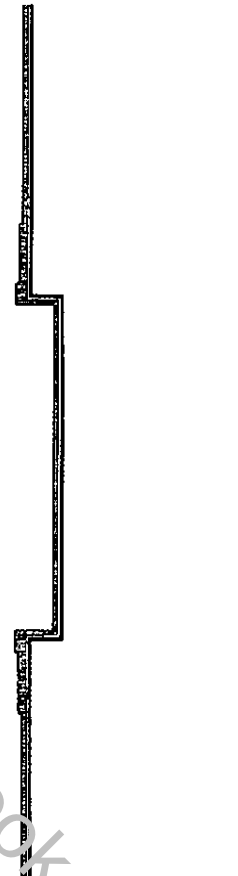
PLOTTED: 10/17/2022 4:52 PM

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	1	YD	12.7	12.7
CEMENT	1	YD	7.9	7.9
TOTAL				20.6

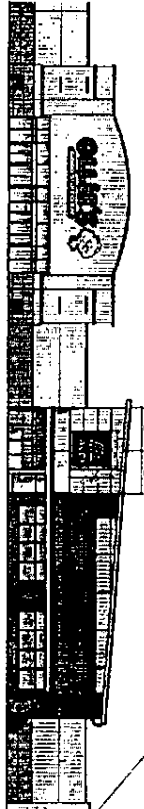


1 Front (East) Elevation - Proposed ALDI - Option 01
Scale: 1/8" = 1'-0"

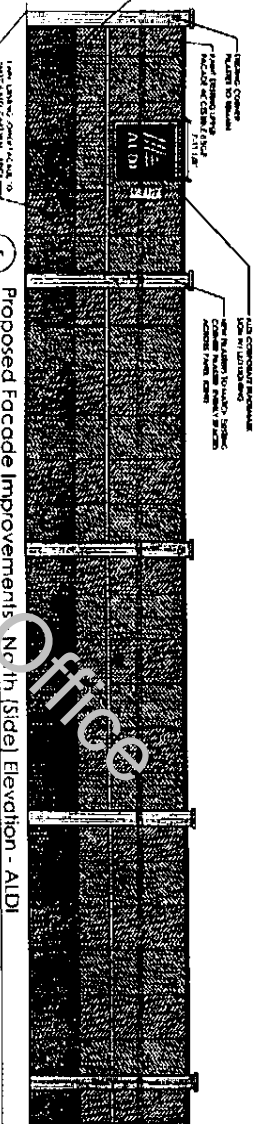
2 Reference Plan
Scale: 1/8" = 1'-0"



4 North (Side) Elevation - ALDI
Scale: 1/8" = 1'-0"



3 East (Front) Elevation - Existing/ALDI
Scale: 1/8" = 1'-0"



5 Proposed Facade Improvements - North (Side) Elevation - ALDI
Scale: 1/8" = 1'-0"

DATE	DESCRIPTION	BY	PROJECT NO.
10/23/18	18-0432A	MAJH	
V.1.18	CEE-6	MAJH	
SCALE: AS SHOWN			

ALDI Inc.
 2220 N. W. 10th St.
 Fort Lauderdale, FL 33309
 Store # 22
 Streamwood, IL
 940 S. Burlington Road
 Streamwood, IL 60107
 Cook County
 Project Name & Location:

APD ENGINEERING ARCHITECTURE
 1111 S. W. 10th St.
 Fort Lauderdale, FL 33309
 Project Name & Location:

APD ENGINEERING ARCHITECTURE
 1111 S. W. 10th St.
 Fort Lauderdale, FL 33309
 Project Name & Location:

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL
 ARCHITECT
 PROJECT NO. 18-0432A
 PROJECT NAME & LOCATION:

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			

UNOFFICIAL COPY

Exhibit G

Landscape Plans

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

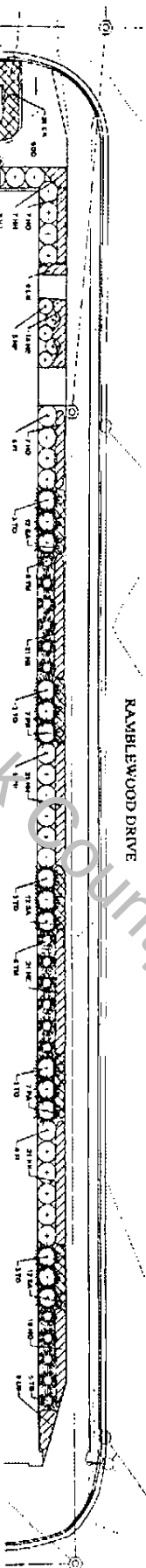
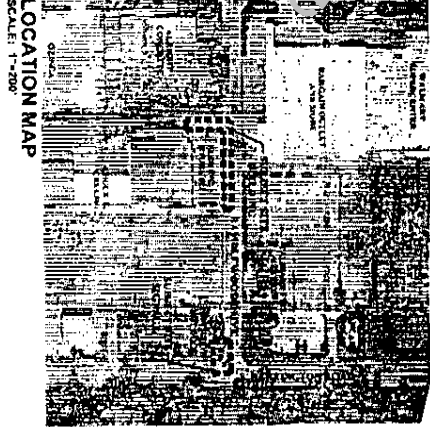
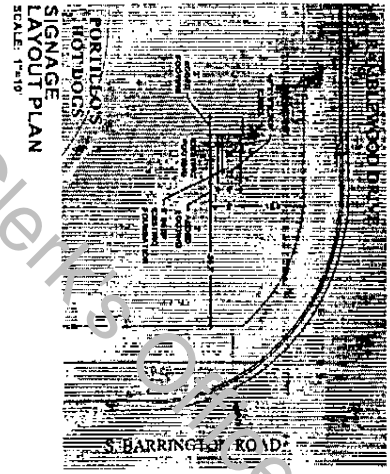
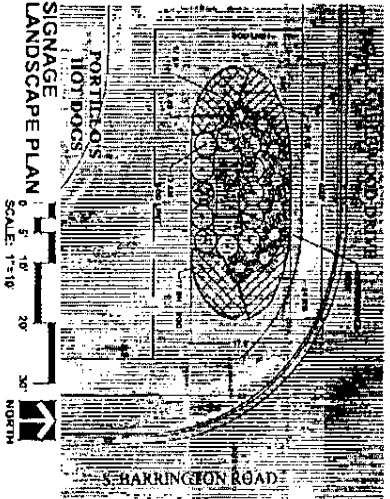
COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

UNOFFICIAL COPY

PLANT LIST - SIGNAGE

Key	Plant/Tree Name	Size	Quantity	Remarks
1	Evergreen Shrub	3' x 4'	10	See notes
2	Small Tree	8' x 10'	5	See notes
3	Deciduous Shrub	4' x 4'	20	See notes
4	Small Tree	6' x 6'	10	See notes
5	Deciduous Shrub	4' x 4'	20	See notes
6	Small Tree	8' x 10'	5	See notes
7	Deciduous Shrub	4' x 4'	20	See notes
8	Small Tree	6' x 6'	10	See notes
9	Deciduous Shrub	4' x 4'	20	See notes
10	Small Tree	8' x 10'	5	See notes
11	Deciduous Shrub	4' x 4'	20	See notes
12	Small Tree	6' x 6'	10	See notes
13	Deciduous Shrub	4' x 4'	20	See notes
14	Small Tree	8' x 10'	5	See notes
15	Deciduous Shrub	4' x 4'	20	See notes
16	Small Tree	6' x 6'	10	See notes
17	Deciduous Shrub	4' x 4'	20	See notes
18	Small Tree	8' x 10'	5	See notes
19	Deciduous Shrub	4' x 4'	20	See notes
20	Small Tree	6' x 6'	10	See notes
21	Deciduous Shrub	4' x 4'	20	See notes
22	Small Tree	8' x 10'	5	See notes
23	Deciduous Shrub	4' x 4'	20	See notes
24	Small Tree	6' x 6'	10	See notes
25	Deciduous Shrub	4' x 4'	20	See notes
26	Small Tree	8' x 10'	5	See notes
27	Deciduous Shrub	4' x 4'	20	See notes
28	Small Tree	6' x 6'	10	See notes
29	Deciduous Shrub	4' x 4'	20	See notes
30	Small Tree	8' x 10'	5	See notes

NOTE: SIGN FACE: 119 30FT
 BED AREA: 663 50FT
 - INSTALLED BY ALDI



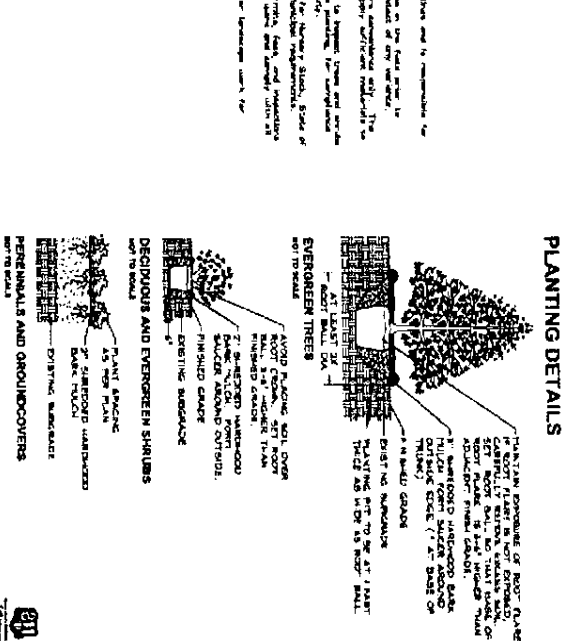
BUILDING LANDSCAPE PLAN

PLANT LIST - BUILDING

Key	Plant/Tree Name	Size	Quantity	Remarks
1	Deciduous Shrub	4' x 4'	20	See notes
2	Small Tree	8' x 10'	5	See notes
3	Evergreen Shrub	3' x 4'	10	See notes
4	Small Tree	6' x 6'	10	See notes
5	Deciduous Shrub	4' x 4'	20	See notes
6	Small Tree	8' x 10'	5	See notes
7	Deciduous Shrub	4' x 4'	20	See notes
8	Small Tree	6' x 6'	10	See notes
9	Deciduous Shrub	4' x 4'	20	See notes
10	Small Tree	8' x 10'	5	See notes
11	Deciduous Shrub	4' x 4'	20	See notes
12	Small Tree	6' x 6'	10	See notes
13	Deciduous Shrub	4' x 4'	20	See notes
14	Small Tree	8' x 10'	5	See notes
15	Deciduous Shrub	4' x 4'	20	See notes
16	Small Tree	6' x 6'	10	See notes
17	Deciduous Shrub	4' x 4'	20	See notes
18	Small Tree	8' x 10'	5	See notes
19	Deciduous Shrub	4' x 4'	20	See notes
20	Small Tree	6' x 6'	10	See notes
21	Deciduous Shrub	4' x 4'	20	See notes
22	Small Tree	8' x 10'	5	See notes
23	Deciduous Shrub	4' x 4'	20	See notes
24	Small Tree	6' x 6'	10	See notes
25	Deciduous Shrub	4' x 4'	20	See notes
26	Small Tree	8' x 10'	5	See notes
27	Deciduous Shrub	4' x 4'	20	See notes
28	Small Tree	6' x 6'	10	See notes
29	Deciduous Shrub	4' x 4'	20	See notes
30	Small Tree	8' x 10'	5	See notes

GENERAL NOTES

1. Contractor shall verify underground utility lines and is responsible for any damage to them.
2. All plants shall be installed in accordance with the notes on this plan.
3. All plants shall be installed in accordance with the notes on this plan.
4. The landscape architect is not responsible for the construction of any structures shown on this plan.
5. The landscape architect is not responsible for the construction of any structures shown on this plan.
6. The landscape architect is not responsible for the construction of any structures shown on this plan.
7. The landscape architect is not responsible for the construction of any structures shown on this plan.



ALDI INC. - STORE #22

STREAMWOOD, ILLINOIS

LANDSCAPE PLAN

DATE: 10/15/2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: 1 OF 2

UNOFFICIAL COPY

Exhibit H

Photometric Plan

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

UNOFFICIAL COPY

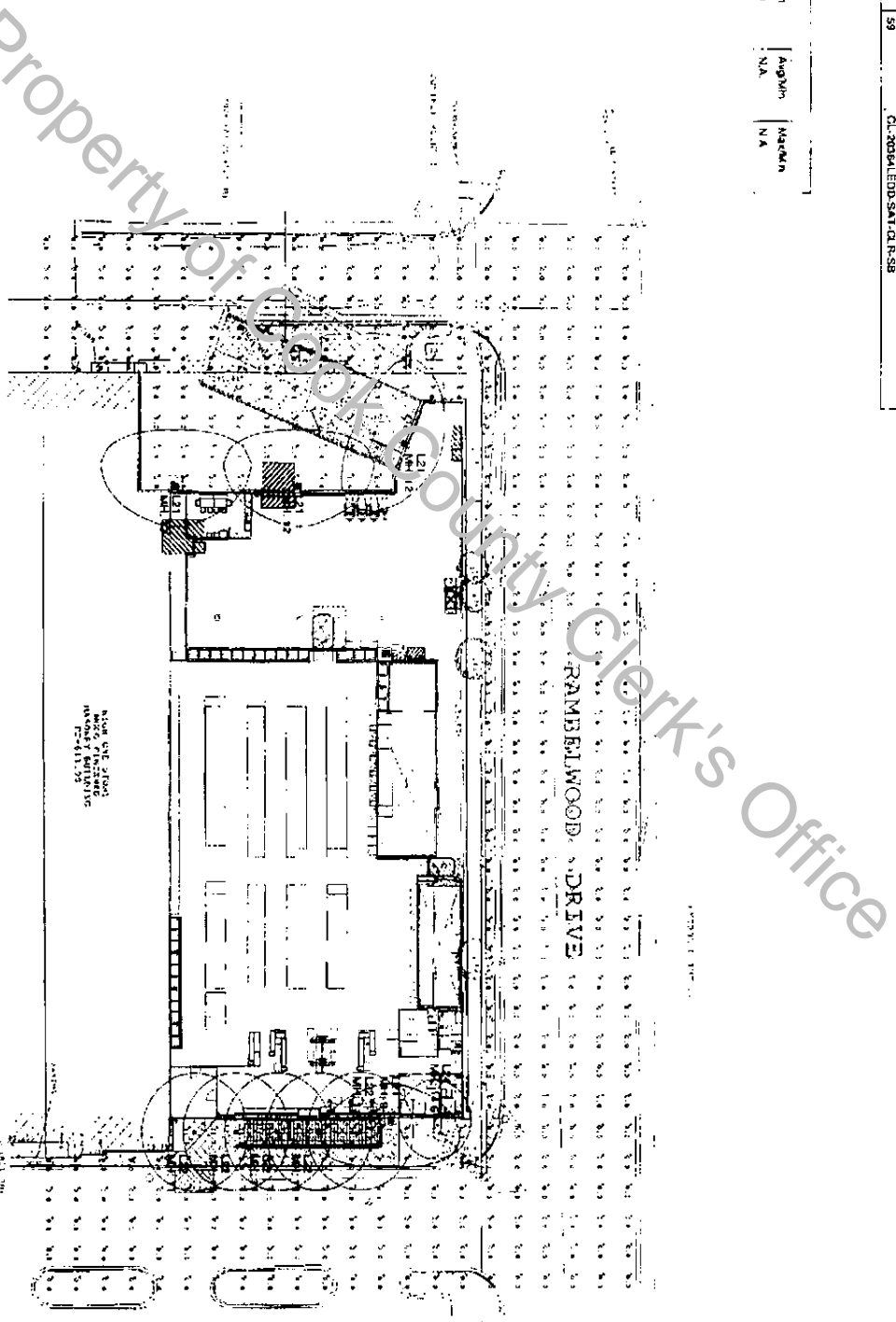
Symbol	Qty	Label	Arrangement	LF/Ft	Lum. Lumens	Lum. Watts	Part Number
3	4	L21	SINGLE	1 000	3200	24	NTW-A-WAL-T3-SL-3DK-UL-C5-P
4	5	L22	SINGLE	1 000	3431	29	SPV250-B-DIA-F-C-UL-C5-30K(MOD 29W)
5	1	L24	SINGLE	1 000	N.A.	59	CL-2035AL-LED-SM-TL-C-R-SB

Calculation Summary: 1,00 LF

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
NI Calc Points	Fc	0.45	13.6	0.0	N.A.	N.A.

Building Identified Fixtures Only
Additional Equipment:

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



CREE LIGHTING
A COMPANY OF FERAL INDUSTRIES, INC.
800 Westborough Ave. Made in South Korea. www.cree.com 781-271-4644

Project Name: **Aldi #22 - 960 S. Barrington Road Streamwood, IL - EXT**
Case #: **00506392**
Footcandles calculated at grade
Filename: **ALD-220718STLQJWR1.AGI**

Layout By: **Casei Withrow**
Date: **10/6/2022**

Scale: **1" = 20'**
0 40 80

UNOFFICIAL COPY

Exhibit I

Signage Plans

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

Property of Cook County Clerk

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

UNOFFICIAL COPY



STORE #BAT22
960 SOUTH BARRINGTON RD.
STREAMWOOD IL.

A Front (East) Elevation

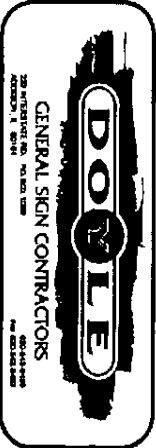
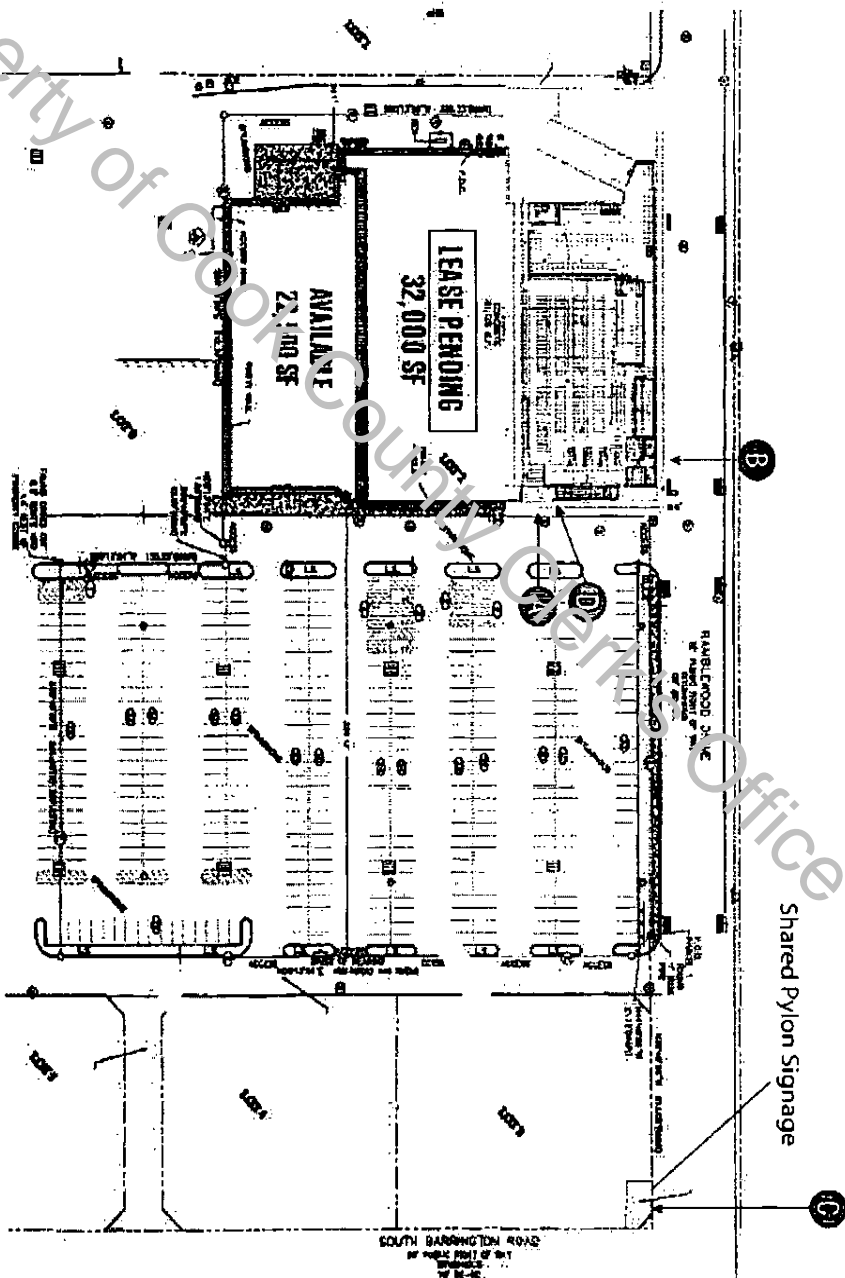
FACE-LIT & BACK-LIT CHANNEL LETTERS
ON OPAQUE ALUM. BACKER
-10'1 1/2" X 12' 1/2"

B North (Side) Elevation

FACE-LIT & BACK-LIT CHANNEL LETTERS
ON OPAQUE ALUM. BACKER
-7'1 1/2" X 9'5 1/2"

C MODIFIED D/F PYLON - 18'-8" X 12'

D INTERIOR LED FRAME - VMT ART



DATE	REVISION
11.14.17	ISSUED FOR BIDDING & VMT DRAINAGE, AVENUE SIGNAGE & LIGHTS

CUSTOMER APPROVAL

The design of the signage and associated work of this drawing is not to be construed as an approval or endorsement in any manner by the sign contractor. The sign is the property of the sign contractor.

DATE _____

CLIENT ALDI - WESTVIEW
ADDRESS 960 SOUTH BARRINGTON ROAD
CITY STREAMWOOD
STATE IL
DESIGNER DT
SCALE NOTED
DATE 06.15.2022
PROJECT NO. 1
DATE 06.15.2022
PROJECT NO. 1

C:\Design\ALDI\STREAMWOOD - WESTVIEW\WESTVIEW ALDI Pylon V10

UNOFFICIAL COPY



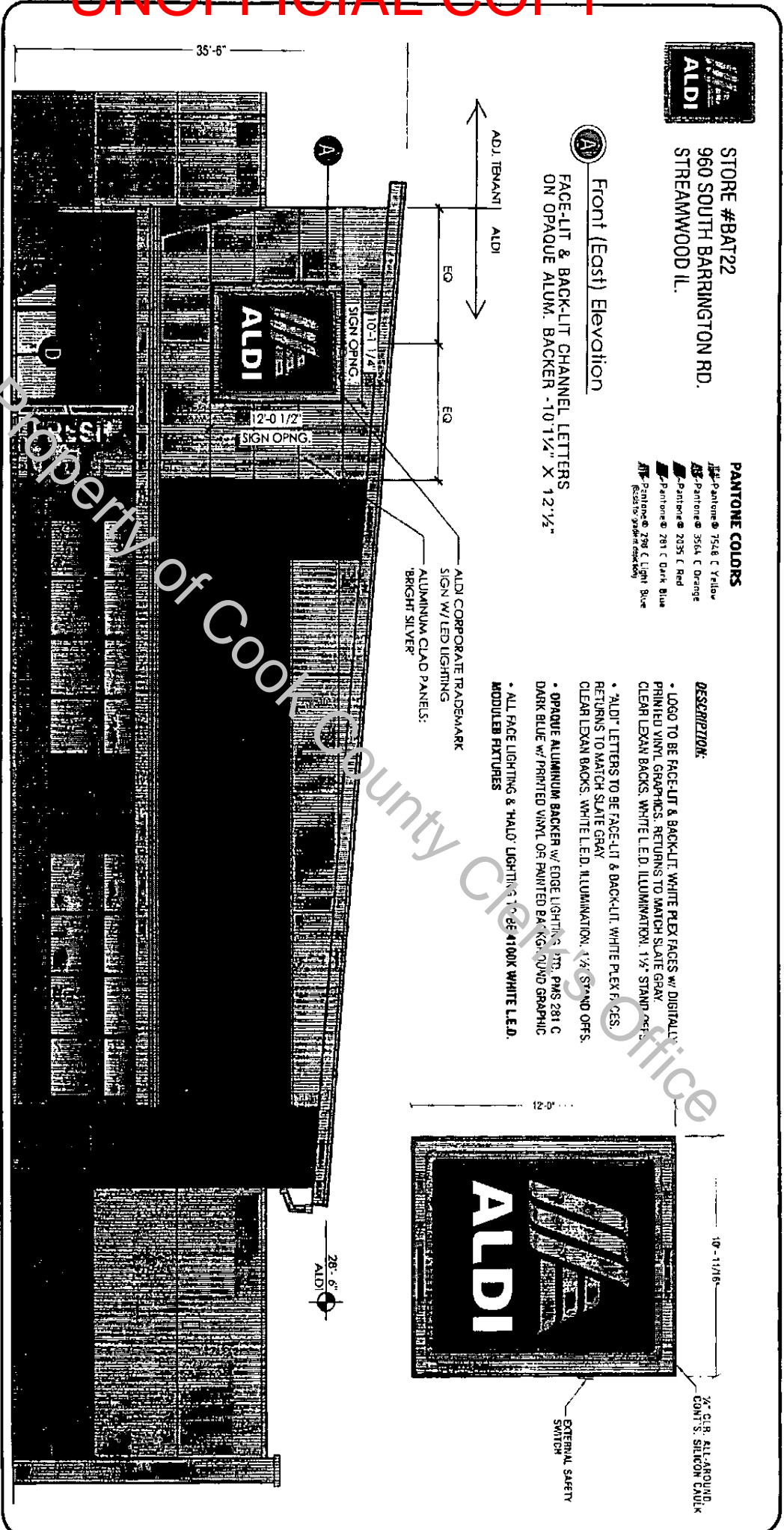
STORE #BAT22
960 SOUTH BARRINGTON RD.
STREAMWOOD IL.

PANTONE COLORS

- ▲ Pantone® 7548 C Yellow
- ▲ Pantone® 3504 C Orange
- ▲ Pantone® 2035 C Red
- ▲ Pantone® 281 C Dark Blue
- ▲ Pantone® 299 C Light Blue (See color system directory)

Front (East) Elevation

FACE-LIT & BACK-LIT CHANNEL LETTERS
ON OPAQUE ALUM. BACKER -10'1 1/2" X 12'1/2"



DESCRIPTION:

- LOGO TO BE FACE-LIT & BACK-LIT WHITE PLEX FACES W/ DIGITALLY PRINTED VINYL GRAPHICS. RETURNS TO MATCH SLATE GRAY CLEAR LEXAN BACKS. WHITE LED ILLUMINATION. 1 1/2" STAND OFF.
- ALDI LETTERS TO BE FACE-LIT & BACK-LIT. WHITE PLEX FACES. RETURNS TO MATCH SLATE GRAY CLEAR LEXAN BACKS. WHITE LED ILLUMINATION. 1 1/2" STAND OFF.
- OPAQUE ALUMINUM BACKER W/ EDGE LIGHTING INT. PMS 281 C DARK BLUE W/ PRINTED VINYL OR PRINTED BACKGROUND GRAPHIC MODULES FIXTURES
- ALL FACE LIGHTING & HALO LIGHTING TO BE 4100K WHITE LED.

ALDI CORPORATE TRADEMARK
SIGN W/ LED LIGHTING
ALUMINUM CLAD PANELS:
BRIGHT SILVER

10'-11 1/8"

3/4" CLR. ALL-AROUND
CONT'S. SILICON CAULK

EXTERNAL SAFETY
SWITCH

DOYLE
GENERAL SIGN CONTRACTORS
2241 W. STATE ST. #100
CHICAGO, IL 60612
TEL: 773-442-1111
WWW.DOYLE-SIGN.COM

DATE: 08/15/2022
REVISION: 01
DRAWN BY: [blank]
CHECKED BY: [blank]
APPROVED BY: [blank]

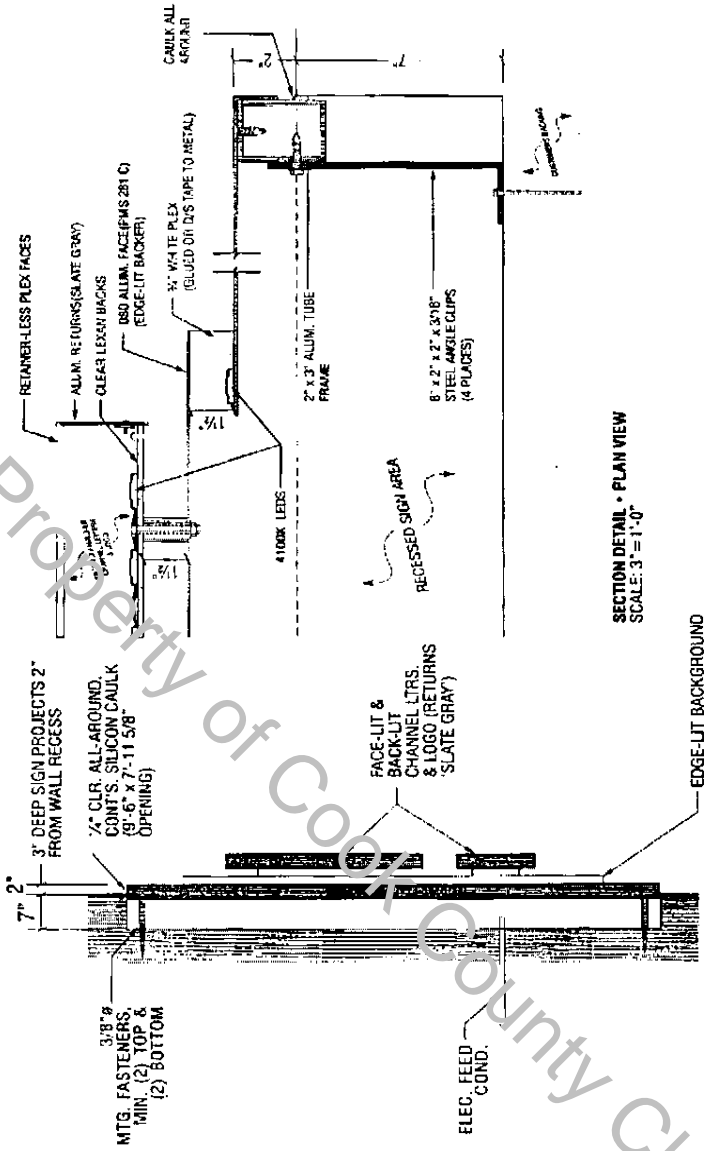
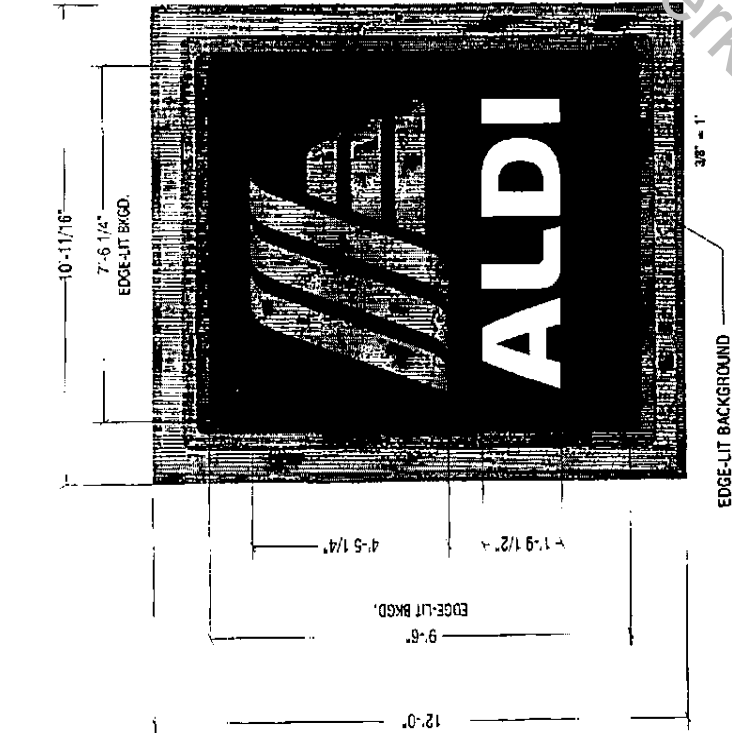
CUSTOMER APPROVAL: _____ DATE: _____
The design of this sign and its installation is the property of Doyle Sign Contractors. No part of this design may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Doyle Sign Contractors.

CLIENT: ALDI - WESTVIEW
ADDRESS: 960 SOUTH BARRINGTON ROAD
CITY: STREAMWOOD STATE: IL
ZIP: 60159
SCALE: NOTED DATE: 08/15/2022 SHEET NO.: 2 OF 2
DESIGNER: DT
CHECKER: [blank]
DATE: 08/15/2022
PROJECT: 07-Design/ALDI/STREAMWOOD - WESTVIEW/WESTVIEW ALDI Pylon V10

UNOFFICIAL COPY

A Front (East) Elevation

FACE-LIT & BACK-LIT CHANNEL LETTERS ON OPAQUE ALUM. BACKER



SECTION DETAIL - PLAN VIEW
SCALE: 3" = 1'-0"



DATE	BY	REVISION

CUSTOMER APPROVAL
DATE: _____
This design is the original and copyrighted work of DOYLE SIGN CONTRACTORS, INC. and may not be reproduced, copied or published in any fashion without the express written consent of Doyle Sign Contractors, Inc. The rights in this design may be purchased.

CLIENT	ALDI - WESTVIEW
ADDRESS	960 SOUTH BARRINGTON ROAD
CITY	STREAMWOOD
STATE	IL
DESIGNER	DT
DATE	06.15.2022
DRAWN	MD
SCALE	NOTED
SHEET NO.	3
C:\Design\VALDINS\STREAMWOOD - WESTVIEW\WESTVIEW ALDI PLYUM V10	

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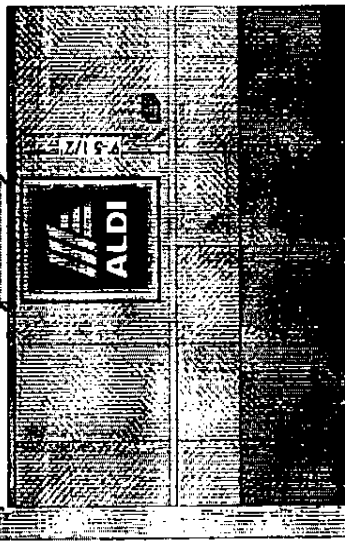
North (Side) Elevation - ALDI

SCALE: 1/8" = 1'-0"

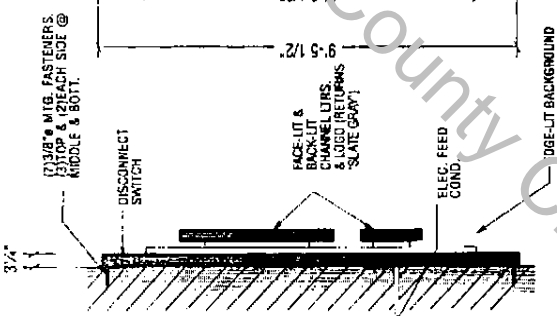
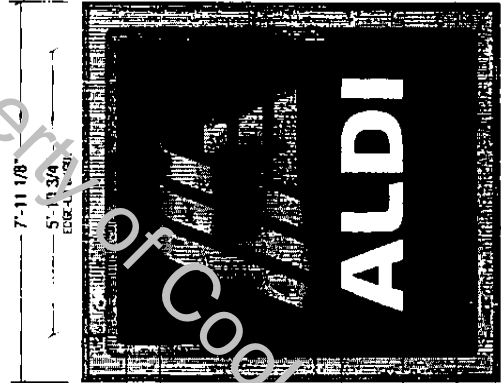
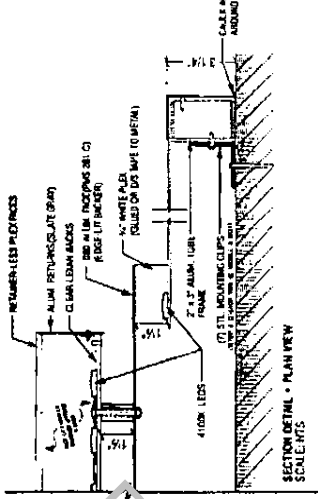


PANTONE COLORS

- Pantone® 3548 C Yellow
- Pantone® 3564 C Orange
- Pantone® 2835 C Red
- Pantone® 281 C Dark Blue
- Pantone® 298 C Light Blue
(basis for granite depiction)



- LOGO TO BE FACE-LIT & BACK-LIT. WHITE PLEX FACES w/ DIGITALLY PRINTED VINYL GRAPHICS. RETURNS TO MATCH SLATE GRAY. CLEAR LEXAN BACKS. WHITE L.E.D. ILLUMINATION. 1/2" STAND OFFS.
- "ALDI" LETTERS TO BE FACE-LIT & BACK-LIT. WHITE PLEX FACES. RETURNS TO MATCH SLATE GRAY.
- OPAQUE ALUMINUM BACKER w/ EDGE LIGHTING PTD. PMS 281 C DARK BLUE w/ PRINTED VINYL OR PAINTED BACKGROUND GRAPHIC
- ALL FACE LIGHTING & "HALO" LIGHTING TO BE 4100K WHITE L.E.D. MODULE FIXTURES



DATE	BY	DESCRIPTION

CUSTOMER APPROVAL
 DATE: _____
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CLIENT	ALDI - WESTVIEW
ADDRESS	960 SOUTH BARRINGTON ROAD
CITY	STREAMWOOD
DRAWING NO.	101022-AS
DATE	08.15.2022
DESIGNER	DT
SALES PERSON	JED
SCALE	NOTED
SHEET NO.	4

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SCALE: 1/16" = 1'-0"

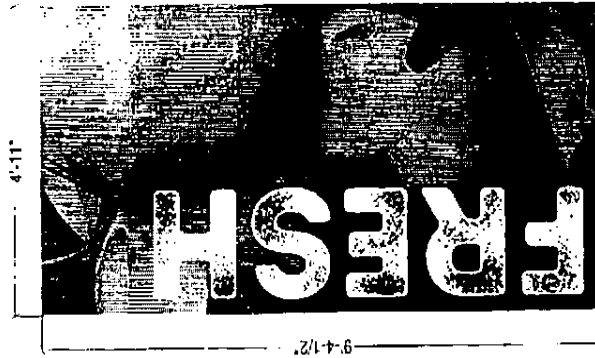
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D INTERIOR LED FRAME - VMT ART

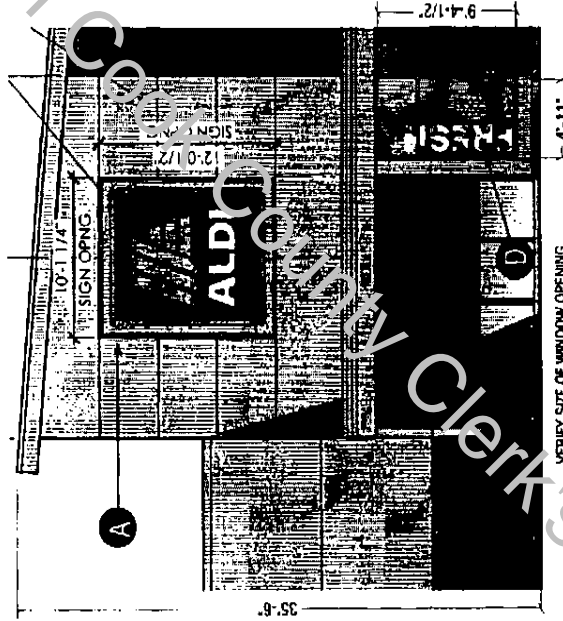
NEW DYE INTERNALLY ILLUMINATED LIGHTBOX WITH SILICONE EDGE GRAPHIC (SEG)

DESCRIPTION:

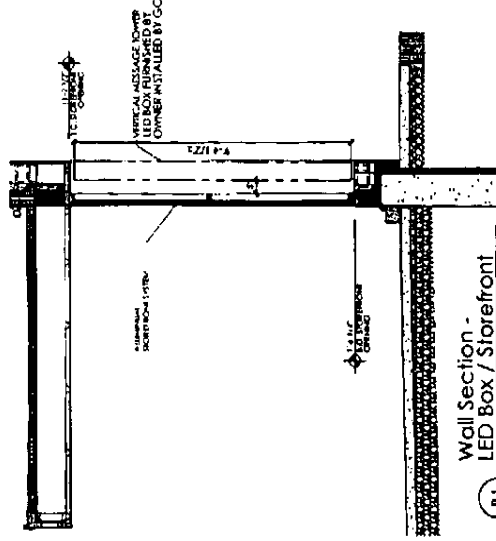
- FLEXIBLE FABRIC GRAPHICS:
 - DYE SUBLIMATION
 - SILICONE EDGE BEADING FOR INSTALLATION INTO FRAME
- ALUMINUM CABINET WITH CLIP ATTACHMENT SYSTEM
- INTERNALLY CONTAINED LEDS AND POWER SUPPLIES



SCALE: N.T.S.



VERIFY SIZE OF WINDOW OPENING
SCALE: 1" = 96"



Wall Section -
LED Box / Storefront
SCALE: 1" = 192"

Property of Clerk's Office

DOYLE
GENERAL SIGN CONTRACTORS
220 WESTERN BLVD. SUITE 1000
GREENSBORO, NC 27409
PHONE: 336-853-8888

DATE	BY	FOR

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DATE: _____

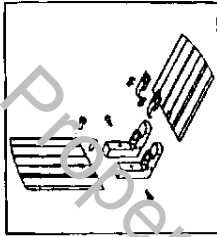
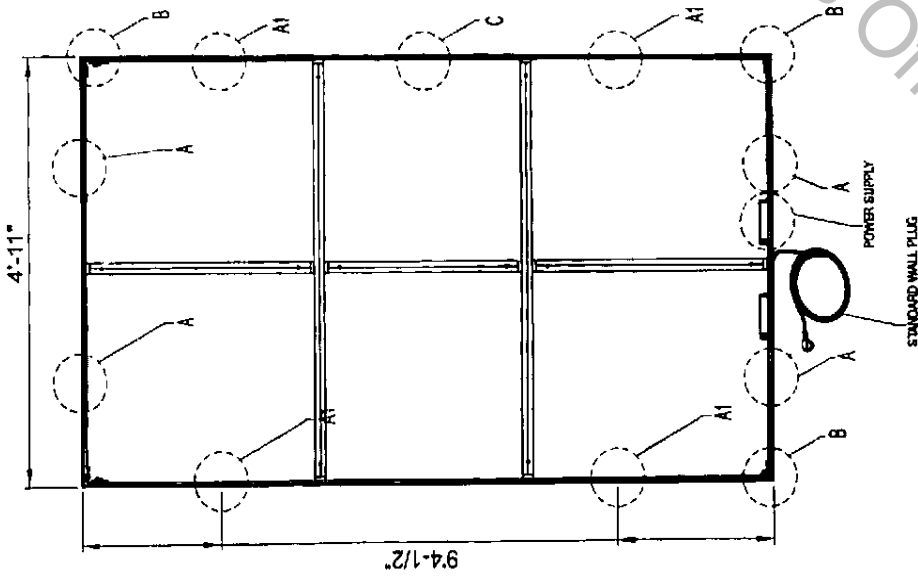
CLIENT	ALDI - WESTVIEW
ADDRESS	980 SOUTH BARRINGTON ROAD
CITY	STREAMWOOD
DRAWING NO.	101022-A3
DATE	08.15.2022
DESIGNER	DT
SCALE	NOTED
STATE	IL
DATE	08.15.2022
DESIGNER	DT
SALES PERSON	JED
SHEET NO.	5

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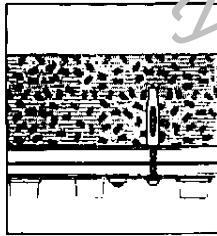
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D INTERIOR VMT LIGHTBOX FRAME

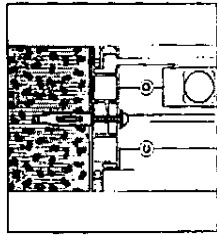
SCALE: N.T.S.



DETAIL B
CLP CORNER JOINT



DETAIL A1
WINDOWS ANCHORS



DETAIL A
WINDOWS ANCHORS



DETAIL C
MID JOINTS



DYE SUBLIMATED GRAPHIC ON FLEXIBLE FABRIC TUCKED INTO FRAME

DATE	BY	DESCRIPTION

DOOLE
GENERAL SIGN CONTRACTORS
300 INTERSTATE 405
WOODBRIDGE, VA 22191
TEL: 541-544-4444
FAX: 541-544-4444

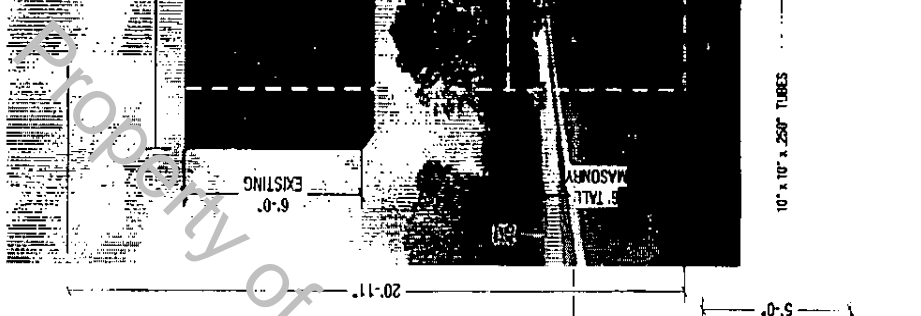
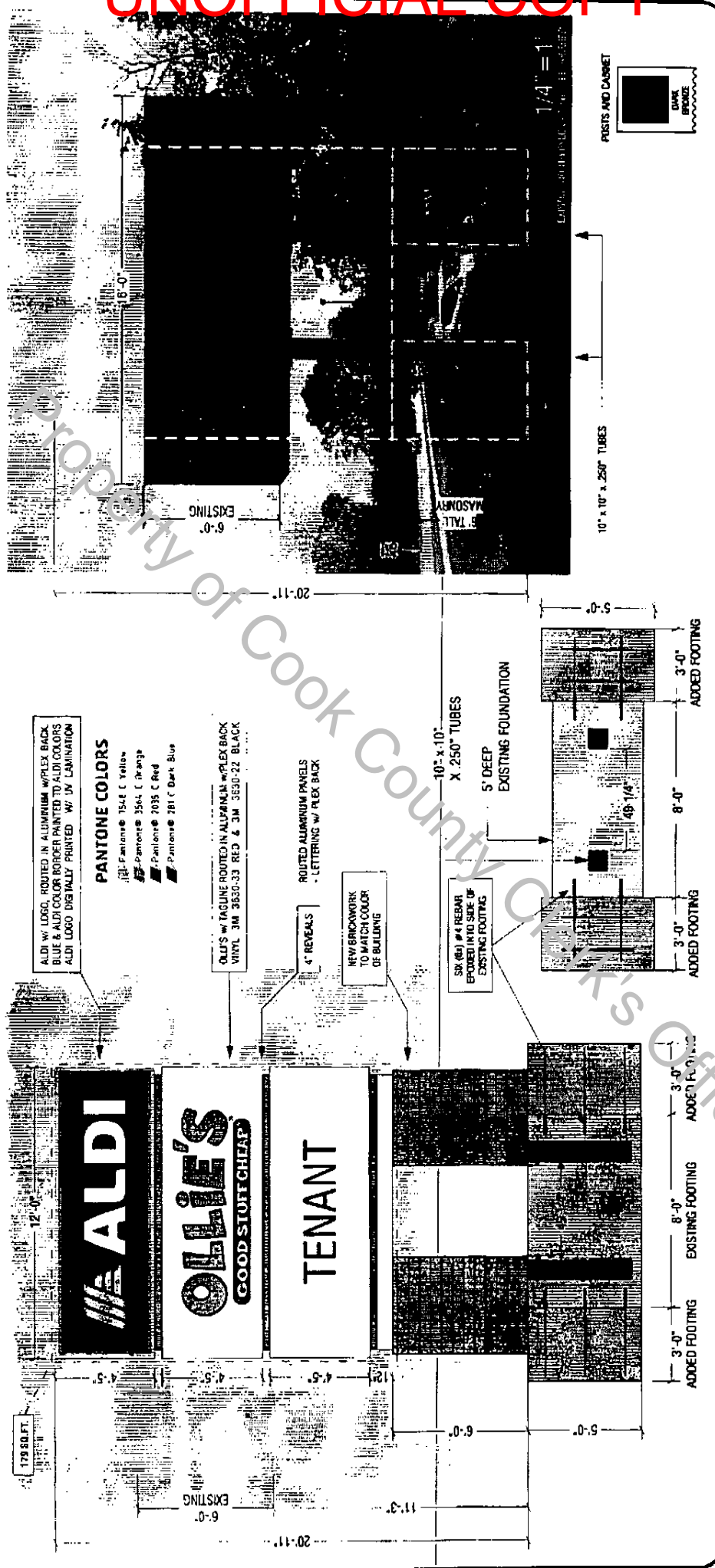
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DATE: _____
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ADDRESS	960 SOUTH BARRINGTON ROAD
CITY	STREAMWOOD
DRIVE, NO.	101022-A3
STATE	IL
SCALE	NOTED
DESIGNER	DT
DATE	08.15.2022
SHEET NO.	6
JED	0

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C 14'-11" X 12' - MODIFIED D/F PYLON
SCALE: 1/4" = 1'



DATE	BY	FOR

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DATE

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CLIENT	ALDI - WESTVIEW
ADDRESS	940 SOUTH BARRINGTON ROAD
CITY	STREAMWOOD
STATE	IL
DISBURSER	DT
SALESPERSON	JED
DRAWING NO.	191022-A3
SCALE	NOTED
DATE	06.15.2022
SHEET NO.	7

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