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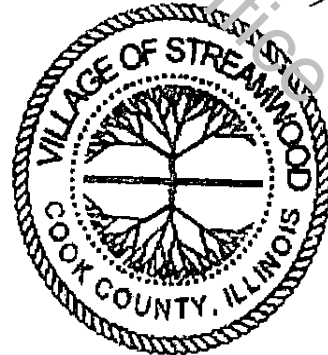
Doc# 2410607028 Fee \$88.00
KAREN A. YARBROUGH
COOK COUNTY CLERK'S OFFICE
DATE: 4/15/2024 3:26 PM
PAGE: 1 OF 66

PIN 06-26-102-124-0000

CERTIFICATION

I, Kittie L. Kopitke, do hereby certify that I am the duly elected Village Clerk of the Village of Streamwood, Cook County, Illinois, and the keeper of the books and records of the Village of Streamwood, and I do hereby certify that Ordinance Number 2023-22 is the true and correct copy of an Ordinance presented, passed and recorded by the President and Board of Trustees of the Village of Streamwood on the 7th day of September 2023 by a vote of 4 Ayes, 0 Nays with 2 Trustees absent.


Kittie L. Kopitke, MMC
Village Clerk



Prepared by:
Kittie Kopitke
Clerk
Village of Streamwood
301 E. Irving Park Rd
Streamwood, IL 60107
Mail to:
Matthew Holmes
9901 W. Devon #800
Rosemont, IL 60010

RECORDING FEE 88.00
DATE 4/15/24 COPIES 4x
OK BY EK

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VILLAGE OF STREAMWOOD

ORDINANCE 2023-22

AN ORDINANCE APPROVING A PLANNED DEVELOPMENT AGREEMENT, REZONING AND SPECIAL USE WITH VARIATIONS FOR THE PROPERTY LOCATED AT 14 E. IRVING PARK ROAD, STREAMWOOD, ILLINOIS

ADOPTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF STREAMWOOD THIS 7th DAY OF September, 2023.

Published in pamphlet form by authority of the Board of Trustees of the Village of Streamwood, Cook County, Illinois this 7th day of September, 2023.

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ORDINANCE 2023- 22

AN ORDINANCE APPROVING A PLANNED DEVELOPMENT AGREEMENT, REZONING AND SPECIAL USE WITH VARIATIONS FOR THE PROPERTY LOCATED AT 14 E. IRVING PARK ROAD, STREAMWOOD, ILLINOIS

WHEREAS, Car Wash Development of Streamwood, Inc., the contract Purchaser ("Purchaser") is the owner of record of the real property ("Property") legally described on Exhibit "A", attached hereto and made a part hereof, and commonly known as 14 E. Irving Park Road, Streamwood, Cook County, Illinois; and

WHEREAS, the Property consists of approximately 1.3 acres and is currently zoned C-2; and

WHEREAS, the Purchaser proposes rezoning the property from C-2 to C-2 PUD, a special use, and a Planned Development Agreement with variations to further develop the site by the construction of a new car wash facility; and

WHEREAS, the Purchaser provided public notice and hearing on its application for the rezoning, special use and planned development with variations which was published in the Daily Herald of Paddock Publications, Inc., on November 29, 2021, a paper having general circulation within the Village of Streamwood, all as required by the Illinois Compiled Statutes and the ordinances of the Village of Streamwood; and

WHEREAS, a public hearing was duly conducted by the Planning and Zoning Board of the Village on the proposed rezoning from C-2

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to C-2 PUD, special use and planned development with variations on December 14, 2021, and at which public hearing evidence was received and testimony was given regarding the rezoning, special use and planned development, as well as a request for approval of zoning variation(s) necessary for the rezoning, special use and planned development; and

WHEREAS, the Planning and Zoning Board, after reviewing the evidence presented and testimony given at the public hearing, made certain findings of fact and recommendations which it has forwarded to the Village Board of the Village of Streamwood.

NOW THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Streamwood, Cook County, Illinois, as follows:

SECTION ONE. That the corporate authorities of the Village of Streamwood hereby adopt the findings of the Village of Streamwood Planning and Zoning Board and further find that the proposed rezoning, special use and planned development with variations is consistent with the Village of Streamwood Comprehensive Plan.

SECTION TWO. That the rezoning from C-2 to C-2 PUD, special use permit and planned development with variations for the construction of a new car wash facility are hereby approved.

SECTION THREE. That all zoning variation(s) requested by the Petition and set forth within the Planned Development Agreement

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and the Planned Development Agreement attached hereto as Exhibit "B" and made a part hereof, are expressly approved.

SECTION FOUR. The Village President is hereby authorized and directed to execute said Planned Development Agreement on behalf of the Village of Streamwood and the Village Clerk is directed to attest to said signature.

SECTION FIVE. The Village Clerk is hereby authorized and directed to note the zoning grant made by this ordinance upon the official zoning map of the Village of Streamwood.

SECTION SIX. That all ordinances and resolutions or parts thereof in conflict with the provisions of this ordinance are, to the extent of such conflict, expressly repealed.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

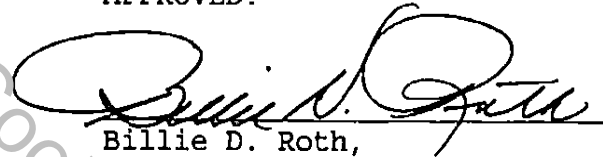
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SECTION SEVEN. That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.


ROLL CALL VOTE:	AYES	<u>4</u>
	NAYS	<u>0</u>
	ABSTENTIONS	<u>0</u>
	ABSENT	<u>2</u>

PASSED AND APPROVED this 7th day of September, 2023.

APPROVED:


 Billie D. Roth,
 Village President

ATTEST:


 Kittie L. Kopitke,
 Village Clerk

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EXHIBIT "A"

Lot 1 of Mason's Resubdivision 2, being a subdivision of part of the north half of Section 26, Township 41 North, Range 9 East of the Third Principal Meridian, Cook County, Illinois, according to the plat thereof recorded January 28, 2009 as Document No. 0902832032 in the Recorder's Office of Cook County, Illinois; excepting therefrom that part conveyed to the people of the State of Illinois Department of Transportation by Warranty Deed recorded August 7, 2020, as Document No. 2022015014 in said Recorder's Office.

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EXHIBIT "B"

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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PLANNED DEVELOPMENT AGREEMENT

This Agreement (hereinafter referred to as the “**Agreement**”) made and entered into this 7th day of September, 2023, by and between the Village of Streamwood, a municipal corporation of the County of Cook, State of Illinois (hereinafter referred to as “**Village**”) by and through the President and Board of Trustees of the Village (hereinafter collectively referred to as the “**Corporate Authorities**”) and Car Wash Development of Streamwood, an Illinois Corporation, as owner of record of the subject property (hereinafter referred to as the “**Owner**”).

WITNESSETH:

WHEREAS, the Owner is the owner of record of a certain tract of property (hereinafter referred to as the “**Property**”) of approximately 1.3 acres legally described and identified in the Legal Description of the Property, which is attached hereto as **Exhibit A**, and desires to develop the Property with a new car wash facility and related appurtenances after demolishing the existing car wash facility, all as more particularly shown on the Site Development Plan Exhibits attached hereto; and

WHEREAS, the Owner desires and proposes to change the zoning classification for the Property from C-2 to C-2 (PUD) under the Village Zoning Ordinance, with a special use for a commercial Planned Unit Development (PUD) with a car wash; and

WHEREAS, this Agreement was submitted to the Corporate Authorities and a public hearing was held thereon pursuant to notice as provided by ordinance; and

WHEREAS, pursuant to due notice and advertisement in the Daily Herald, the Planning and Zoning Board of the Village has held a public hearing on December 14, 2021, and made their recommendations with respect to the requested special use for a Planned Unit Development with a car wash; and

WHEREAS, the Corporate Authorities of the Village after due and careful consideration have concluded that the zoning and development of the Property on the terms and conditions herein set forth would further enable the Village to control the development of the area and would serve the best interests of the Village.

NOW, THEREFORE, in consideration of the premises, mutual covenants and agreements herein set forth, the parties hereto agree as follows:

1. **Recitals.** The above recitals are hereby incorporated into and made a part of this Agreement.
2. **Enactment of Village Ordinances.** The Corporate Authorities shall immediately, adopt the following proper, valid, and binding ordinance authorizing the following:

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a) Authorizing the redevelopment of the Property with a car wash, subject to a special use as a Commercial Unit Planned Development and approving certain uses of the Property as provided herein.

b) Authorizing the execution and delivery of this Agreement by the Corporate Authorities.

c) Granting the departures or exceptions to the bulk and other regulations of the Village's Zoning Ordinance as set forth in Section 5 below.

3. **Approval of Uses.** The Corporate Authorities hereby approve the use of the Property as a car wash as depicted on the Site Development Plans attached hereto this Agreement.

4. **Architectural Control.**

a) All structures will be constructed in accordance with the Building Elevation Plans A201-C and A202-C attached hereto as **Exhibit B** prepared by WT Group or in accordance with such other building elevation plans as may be hereafter approved in writing from time to time for the Property by the Director of the Village's Community Development Department (the "**Director**"), which approval shall not require formal action of the Village Board or any other body of the Village; provided, however, the Director only has authority to approve amendments to said Building Elevation Plans which, in his or her opinion, do not represent material changes to or substantial departures from such Plans.

b) All signage for the Property, including monument and wall mounted signage, shall be in accordance with the Signage Plans attached hereto as **Exhibit C** prepared by Aurora Sign Co. or in accordance with such other signage as may be hereafter approved from time to time in writing for the Property by the Director, which approval shall not require formal action of the Village Board or any other body of the Village; provided, however, the Director only has authority to approve amendments to said Signage Plans which, in his or her opinion, do not represent material changes to or substantial departures from such Plans.

5. **Variances/Waivers.** The Corporate Authorities hereby approve the departures, exceptions, or variances to the bulk and other regulations of the Village's Zoning Ordinance described on, respectively, **Exhibit D** attached hereto.

6. **Approval of Plans.** The Corporate Authorities hereby approve the following Site Improvement Plans, and it is a condition of the Owner's right to develop the Property that said development be done substantially in accordance with the following Site Improvement Plans (as the same may be amended and thereafter approved in writing by the Director from time to time, which approval shall not require formal action of the Village Board or any other body of the Village; provided, however, the Director only has authority to approve amendments to the following Plans which, in his or her opinion, do not represent material changes to or substantial departures from such Plans):

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a) Civil Engineering Plans C00 through C13 prepared by Arc Design Resources, Inc., dated October 7, 2021, bearing Project No. 21166 (the “**Site Improvement Plans**”), which are set forth as part of **Exhibit E** hereto; and

b) Retaining Wall Design Plans SRW1 through SRW3 prepared by Highland Engineering PC, dated January 12, 2022, bearing Job No. 21356.ARC (the “**Site Improvement Plans**”), which are set forth as part of **Exhibit E** hereto; and

c) Irving Park Road Right-of-Way Improvement Plans R00 through R08 prepared by Arc Design Resources, Inc., dated October 7, 2021, bearing Project No. 21166 (the “**Site Improvement Plans**”), which are set forth on as part of **Exhibit E** hereto; and

d) Stormwater Improvement Plans EX1 through EX5 prepared by Arc Design Resources, Inc., dated October 7, 2021, bearing Project No. 21166 (the “**Site Improvement Plans**”), which are set forth as part of **Exhibit E** hereto; and

e) Landscape Plans L01 and L02 prepared by Arc Design Resources, Inc., dated October 7, 2021, bearing Project No. 21166 (the “**Landscape Plan**”), which is set forth as **Exhibit F** hereto; and

f) Photometric Plan prepared by LSI, dated September 30, 2021, which is set forth as **Exhibit G** hereto.

7. Stormwater Management.

a) The Property is an approximately 1.3 acre parcel that will be constructed by the Owner substantially in accordance with the Site Improvement Plans attached as Exhibit E to serve the storm water management needs of the Property (the “**Detention Facilities**”). The mains, piping, fixtures, manholes, catch basins, appurtenances, structures, and components of the storm water management facilities located from time to time on, under or across any of the Property are hereinafter collectively referred to as the **Detention Facilities**.

b) The Owner shall maintain and repair, at its sole cost and expense, the Stormwater Detention Facilities on the Property in a good and workmanlike manner and in accordance with good and sound engineering practice and shall keep the Property in a clear and attractive condition.

c) In the event the Owner shall default in its obligations under Section 7(a) above, and shall fail to commence to cure such default within thirty (30) days after a notice of default has been sent to the Owner by the Village (or after commencing such cure shall fail to diligently prosecute such cure to completion), the Village shall the right, upon a second prior notice to the Owner, to cure or cause to be cured the default and to charge to the Owner the reasonable out of pocket costs and expenses incurred by the Village in so doing. The Owner hereby grants the Village and its agents, contractors, and employees a temporary license to enter upon the Property and such other areas of the Property to the extent reasonably necessary to enable the Village to exercise the self-help rights granted it under this Section 7(c). Village covenants and agrees to exercise such self-help rights in a manner so as to minimize to the maximum extent possible the level of interference with the any of the businesses then operating within the Property.

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8. **Compliance with Village Ordinances.** The Owner agrees to comply with all ordinances of the Village of Streamwood, as amended from time to time, with respect to the ownership and operation of the Property, except as such ordinances may be (or may have been) modified or waived as set forth herein; and provided further that all new ordinances, amendments, rules and regulations relating to zoning, building and subdivision of land adopted after the date of this Agreement shall not be arbitrarily or discriminatorily applied to the Property, but shall be equally applicable to all property in the Village similarly zoned or situated. In the event, however, of any conflict between this Agreement and the Zoning Ordinance, the Subdivision Ordinance and any other present or future codes or ordinances of the Village, the provisions of this Agreement shall prevail to the extent of any such conflict or inconsistency.

9. **Water and Sanitary Sewer Provisions.**

a) The Owner shall have the right to construct and install at its expense all necessary on-site water mains to service the Property and any future expansions or additions thereto or replacements thereof. All water mains shall be constructed and installed in accordance with final engineering plans approved by the Village. The Village represents that there is adequate water adequate to service the buildings that are to be located on the Property, as shown on the Site Development Plans. The Owner shall be permitted to tap on to the Village water system at points recommended by the Village Engineer. The Corporate Authorities agree to cooperate with the Owner and to use their best efforts to aid the Owner in obtaining permits from governmental agencies having jurisdiction as may be necessary to authorize connection from the proposed development to the Village of Streamwood water system. The Owner further agrees to pay to the Village water tap on and connection fees pro rata, in accordance with the applicable Village Ordinances of general applicability throughout the Village, at the time that the proposed buildings on the Property are connected to such systems.

b) The Village represents that adequate sewerage capacity is available to service the Property and future expansions and additions thereto. The Owner shall be permitted to tap on to the Village sanitary sewer system at points recommended by the Village Engineer. The Corporate Authorities agree to cooperate with the Owner and to make its best efforts to aid the Owner in obtaining such permits from governmental agencies jurisdiction as may be necessary to authorize connection from the Property in the Village of Streamwood and the Metropolitan Water Reclamation District for the collection and treatment of sewage. Upon installation and acceptance by the Village through normal acceptance action by the Corporate Authorities, the Corporate Authorities agree to operate and maintain such systems. The Owner agrees to accept any reasonable increase in sewer tap on and connection fees, provided notice is given and such fees are applied consistently to all similar users in the Village.

10. **Site Development Plan Exhibits.** The following Exhibits, some of which were presented in testimony given by the Owner or the witnesses during the hearings held before the Planning and Zoning Board and the Corporate Authorities prior to the execution of this Agreement, are hereby incorporated by reference herein, made a part hereof and designated as shown below. This Agreement, upon execution by the parties, together with copies of all Exhibits, shall be kept on file with the Village Clerk and be available for inspection to the parties hereto.

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EXHIBIT A	Legal Description of the Property
EXHIBIT B	Building Elevation Plans
EXHIBIT C	Signage Plans
EXHIBIT D	List of Requested Variances
EXHIBIT E	Site Improvement Plans
EXHIBIT F	Landscape Plans
EXHIBIT G	Photometric Plan

11. **Fees Paid by Owner.** The Owner shall reimburse the Village for reasonable costs incurred by the Village in executing and carrying out the terms of this Agreement, planning, engineering, traffic, legal consultants and other consultants in review of plans and other documents required in the zoning approval and development approvals from time to time.

12. **Facilitation of Development.** Time is of the essence of this Agreement and all parties will make every reasonable effort to expedite the subject matters hereof. It is further understood and agreed that the successful consummation of this Agreement and the development of the Property is in the best interests of all the parties and requires their continued cooperation. The Owner does hereby evidence its willingness to discuss any matters of mutual interest that may arise, and its willingness to assist the Village in any reasonable manner. The Village does hereby evidence its intent to always cooperate in the resolution of mutual problems and its willingness to facilitate the development of the Property, as contemplated by the provisions of this Agreement.

13. **Enforceability of the Agreement.** This Agreement shall be enforceable in any court of competent jurisdiction by any of the parties by an appropriate action at law or in equity to secure the performance of the covenants herein described. If any provision of this Agreement is held invalid, such provision shall be deemed to be excised heretofore and the invalidity thereof shall not affect any of the other provisions contained herein.

14. **Binding Effect of Agreement.** This Agreement shall be binding upon the Property, the parties hereto and their respective successors and assigns.

15. **Corporate Capacities.** The parties acknowledge and agree that the individuals that are members of the group constituting the Corporate Authorities are entering into this Agreement in their official capacities as members of such group and shall have no personal liability in their individual capacities.

16. **Notices.** Any notice required pursuant to or permitted by the provisions of this Agreement (a "Notice") must be in writing any may be given by (a) personal delivery, (b) nationally recognized overnight courier service, (c) United States registered or certified mail, return receipt requested, with proper postage prepaid, or (d) facsimile transmission (provided such Notice is also sent that same day by one of the other delivery methods set forth in this Section), in each case addressed to the party to whom the Notice is directed at the address of the party set forth below, or at any other address as the parties may later designate by Notice sent in accordance with the provisions of this Section:

If to Owner:

Car Wash Development of Streamwood

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651 S. Sutton Rd.
Suite 305
Streamwood, IL 60107
Attention: Mr. Daniel Gunsteen

Copy to:

If to Village:

Village of Streamwood
301 E. Irving Park Road
Streamwood, IL 60107
Attn: Village Manager
(630) 837-0200
Fax: (630) 837-0242

Copy to:

Storino, Ramello & Durkin
9501 W. Devon Avenue, 8th Floor
Rosemont, IL 60018
Attn: Thomas Bastian
(847) 315-9500
Fax: (847) 318-9509

Any Notice may be given by a party or a party's attorney and, if given by certified or registered mail, shall be deemed given on the fifth business day following the date that the Notice is given to the postmaster. If a Notice is given by overnight delivery, it shall be deemed given on the first business day following delivery to the overnight courier. Any Notice given by personal delivery shall be deemed given on actual receipt by the addressee thereof (or upon refusal to accept delivery). Any Notice given by facsimile transmission shall be deemed given upon the completion of the transmission on business days provided the sender has telecopier machine confirmation of the transmission and also sends the Notice that same day by one of the other delivery methods set forth in this Section.

[Signature Page Follows]

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IN WITNESS WHEREOF, the parties hereto have entered into this Agreement the date and year first above written.

VILLAGE OF STREAMWOOD

By: *William N. Deth*
Village President

ATTEST
[Signature]
Village Clerk



OWNER

Car Wash Development of Streamwood,
an Illinois corporation

[Signature]

By: _____
Name: Daniel Gunatien
Title: Its Manager

Property of Cook County Clerk's Office

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EXHIBIT A

Legal Description of the Property

Lot 1 of Mason's Resubdivision 2 of part of the North Half of Section 26, Township 41 North, Range 9 East of the Third Principal Meridian, Cook County, Illinois, according to the Plat thereof recorded January 28, 2009, as Document No. 0902839032 in the Recorder's Office of Cook County, Illinois.

Excepting therefrom that part conveyed to the people of the State of Illinois Department of Transportation by Warranty Deed recorded August 7, 2020, as Document No. 2022015014 in said Recorder's Office.

P.I.N. 06-26-102-0124

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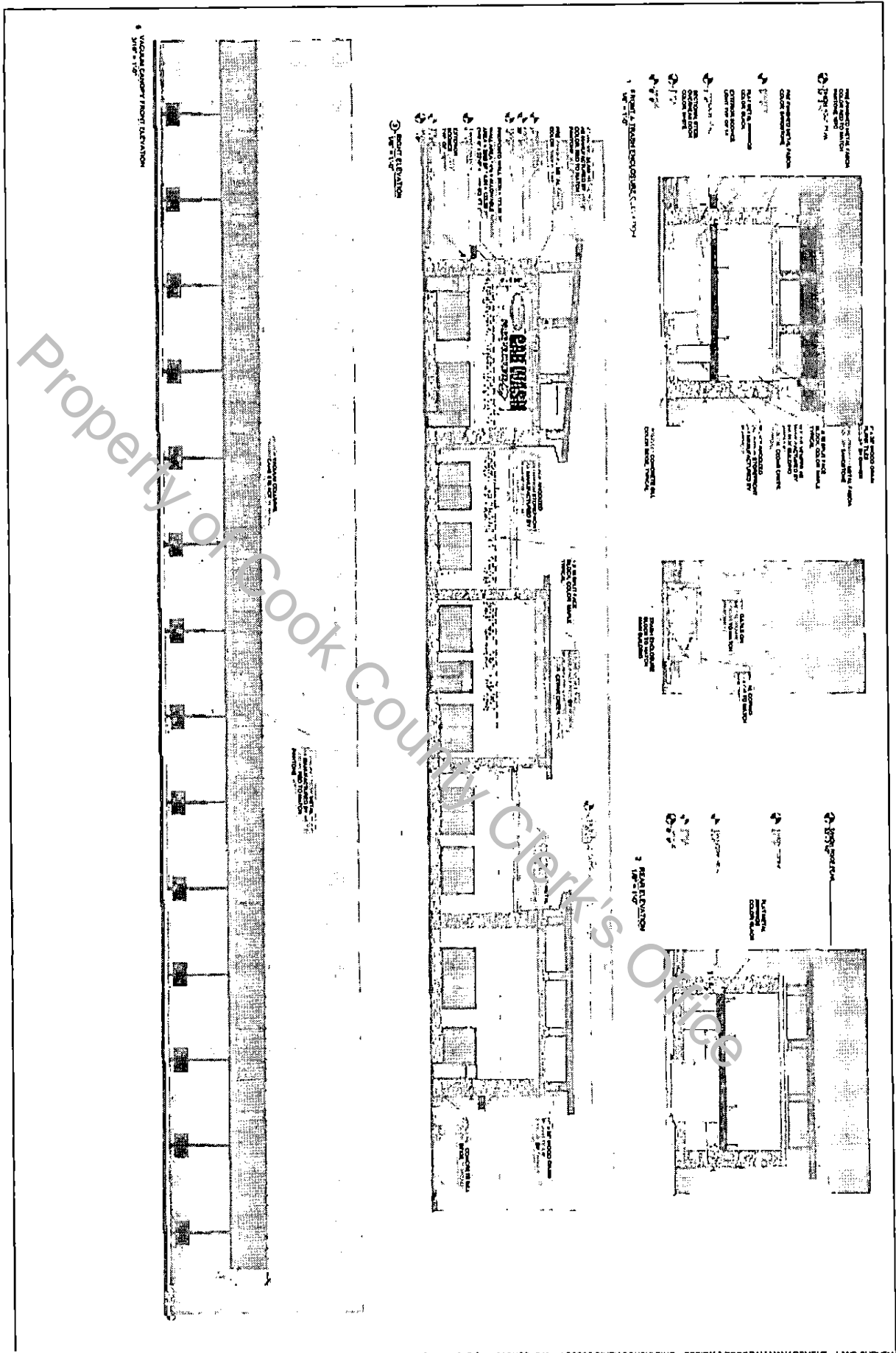
EXHIBIT B
Building Elevation Plans

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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Property of Cook County Clerk's Office

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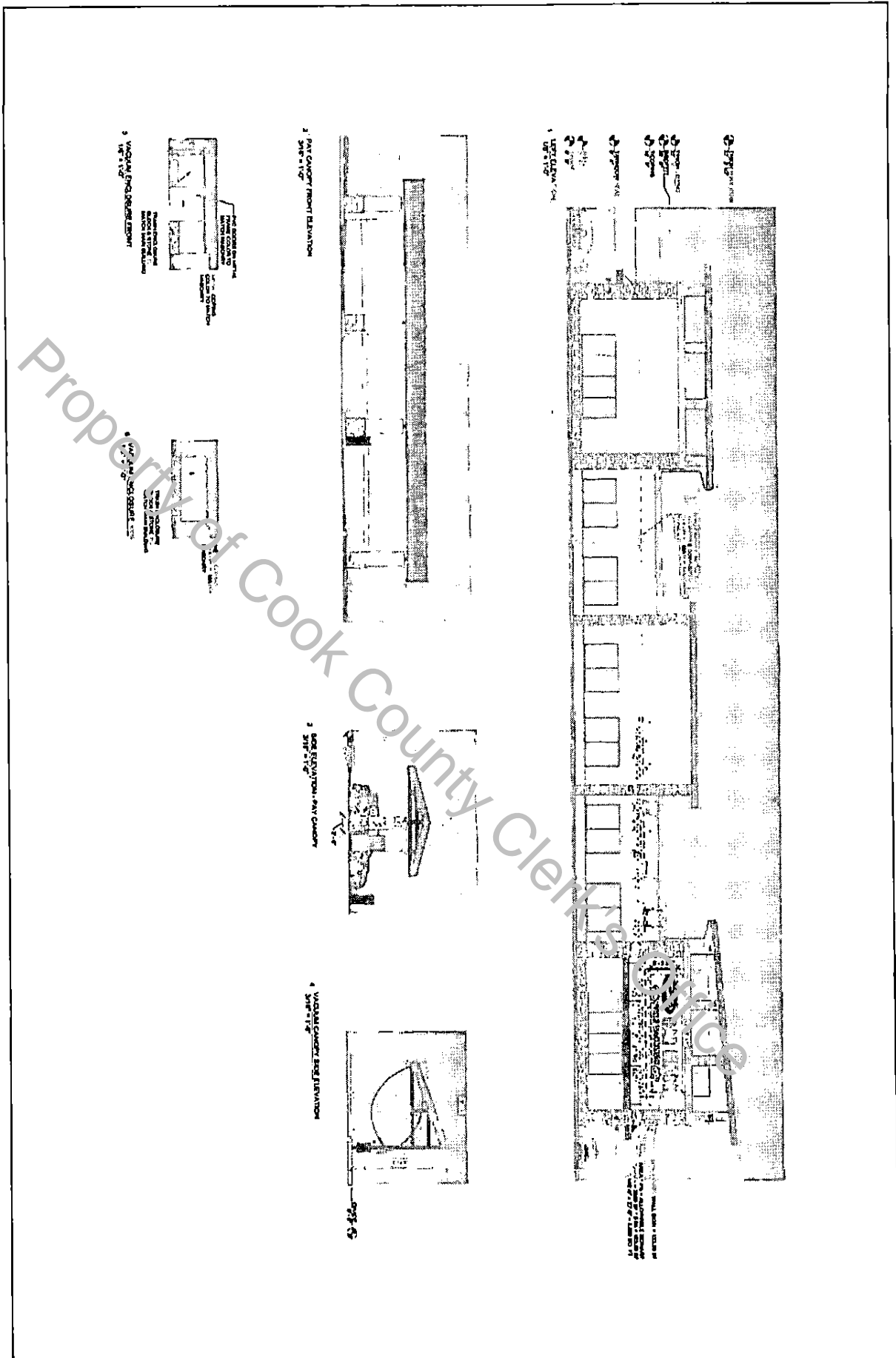
DATE: 08/20/2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 TITLE: [Title]

NEW TUNNEL CARWASH
 14 EAST IRVING PARK
 STREAMWOOD, ILLINOIS 60107
EXTREME CLEAN \$3 CARWASH EXPRESS



WT GROUP
 1777 North Lincoln Street, Suite 200
 Chicago, Illinois 60614
 Phone: (773) 327-1100
 Fax: (773) 327-1101
 Website: www.wtgroup.com

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NEW TUNNEL CARWASH
 14 EAST IRVING PARK
 STREAMWOOD, ILLINOIS 60107
EXTREME CLEAN & CARWASH EXPRESS

WT GROUP
 1400 W. 14TH STREET, SUITE 100
 CHICAGO, ILLINOIS 60604
 TEL: (773) 327-1100
 WWW.WTGROUP.COM

A202-C

DATE: 11/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

SCALE

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EXHIBIT C Signage Plans

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
116 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

COOK COUNTY CLERK OFFICE
RECORDING DIVISION
116 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

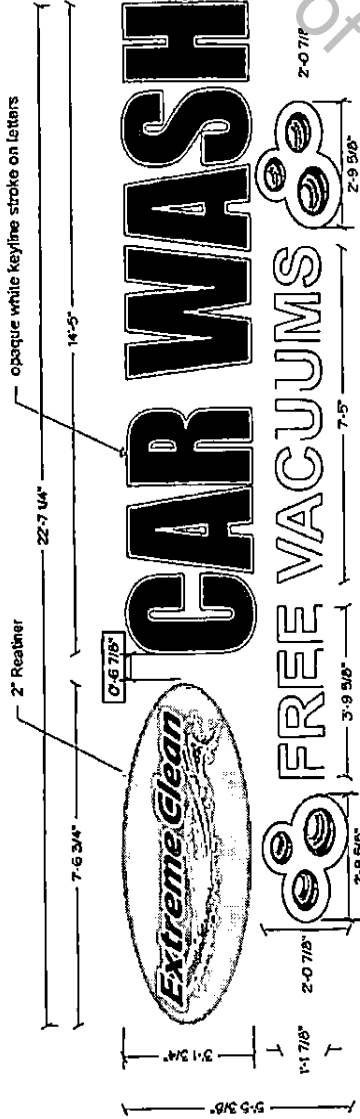
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AURORA SIGN CO.

ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ILLINOIS SIGN ACT (605 ILCS 10/1-10/5) AND THE ILLINOIS ELECTRICAL CODE (220 ILCS 5/1-5/1000).

ELEVATION A & B

© Aurora Sign Co., Inc. 2021



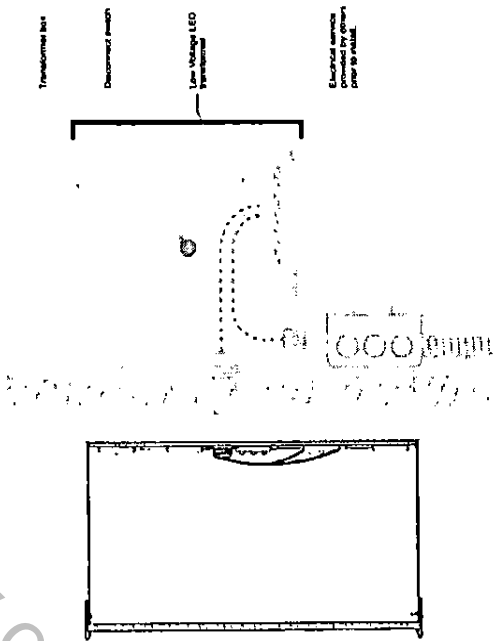
Disconnect Switch

SIGN TO BE UL LISTED

1/23/21 SF

INDIVIDUAL ILLUMINATED CHANNEL LETTERS FLUSH MOUNTED TO WALL - 2 SETS TOTAL REQUIRED
 FABRICATE AND INSTALL SIGN OF ALUMINUM AND ACRYLIC TO HAVE TRANSLUCENT HIGH PERFORMANCE VINYL APPLIED FIRST SURFACE. BLACK TRIMCAP & RETURNS
 ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE. INTERNAL ILLUMINATION TO BE WHITE LEDS.
 SCALE 3/8"=1'

INSTALLATION INSTRUCTIONS
 CENTER SIGN LEFT/RIGHT. TOP/BOTTOM ON WALL AS SHOWN. CONNECT TO ELECTRICAL SERVICE TO BE PROVIDED BY OTHERS PRIOR TO INSTALL.



Computer generated colors are not a true match to any PMS, vinyl or paint. Rendering shown is for concept only. Actual scale and placement shown are approximate.

1100 Route 34 Aurora, Illinois 60503 LH 630 898 5900 office 630 898 6091 fax	Prepared For EXTREME CLEAN CAR WASH	Sheet 1 Date: 10/16/2021	Drawn By 11/23/2021 11/24/2021	TITLE
	14 S IRVING PARK RD STREAMWOOD, IL	Project No 211340	Revision 1	DATE
				PRINT

NOTE: THIS DRAWING IS THE PROPERTY OF AURORA SIGN CO. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY MANNER WITHOUT WRITTEN CONSENT FROM AURORA SIGN CO. CHARGES OF UP TO \$200.00 WILL BE ASSESSED FOR ANY MIS-USE OF THESE DRAWINGS.

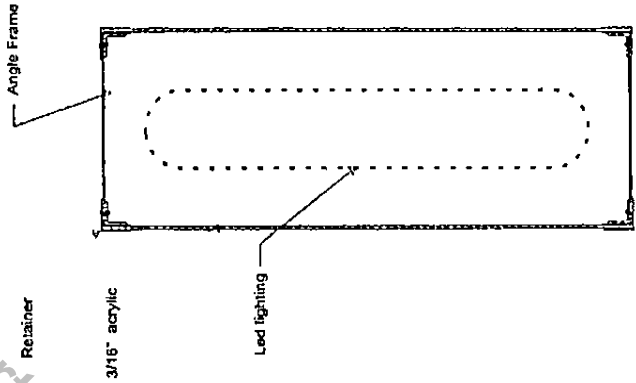
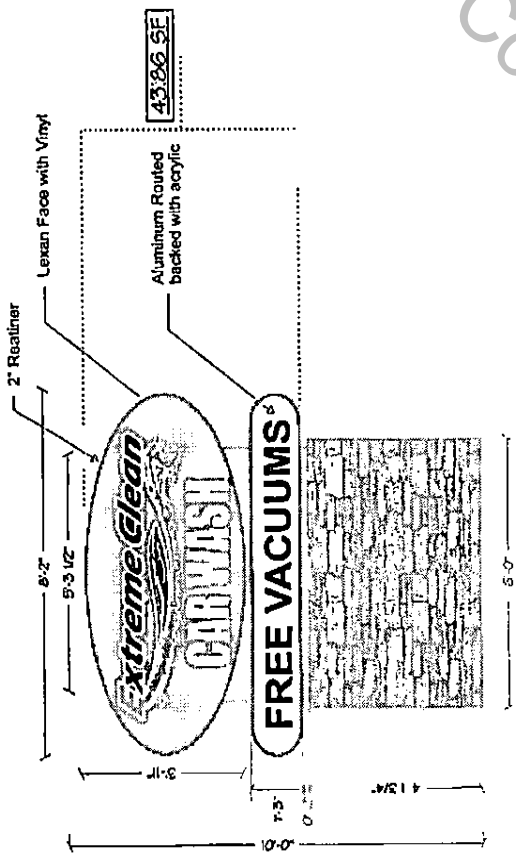
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AURORA SIGN CO.

All Signs Shall Be Installed In Accordance With N.E.C. Article 600
 Electrical Code, National Electrical Safety Code, and
 U.S. Department of Labor OSHA 1910.269
 U.S. Department of Labor OSHA 1910.157

ELEVATION D

INSTALLATION INSTRUCTIONS
 REMOVE EXISTING SIGN CABINET AND DISPOSE.
 INSTALL NEW SIGN CABINET IN SAME AREA.
 KEEP NEW SIGN AT THE SAME HEIGHT AS EXISTING.
 CONSULT TO ELECTRICAL SERVICE TO BE
 PROVIDED BY OTHERS PRIOR TO INSTALL.



DOUBLE FACE ILLUMINATED SIGN CABINET - 1 REQUIRED
 FABRICATE AND INSTALL SIGN OF ALUMINUM AND ACRYLIC.
 FRAME TO BE STEEL ANGLE. CABINET TO BE .125" ALUMINUM.
 FACE TO BE ACRYLIC WITH HIGH PERFORMANCE VINYL GRAPHICS APPLIED TO FRONT SURFACE.
 INTERNAL ILLUMINATION TO BE WHITE LED'S.
 ALL EXPOSED METAL TO BE COATED WITH ACRYLIC POLYURETHANE.
 SCALE 3/8" = 1'

Computer generated colors are not a true match to any PMS, vinyl or paint.
 Rendering shown is for concept only. Actual scale and placement shown are approximate.

1100 Route 34 Aurora, Illinois 60503 LH 630 898 5900 office 630 898 6091 fax	Prepared For: EXTREME CLEAN CAR WASH Location Name: STREAMWOOD, IL	Drawn: 10/11/2021 Rev: 2	Rev: 4 Date: 10/16/2021	TITLE: DOUBLE FACE ILLUMINATED SIGN CABINET
		Rev: 1 Date: 11/24/2021	Rev: 1 Date: 11/26/2021	DATE:

NOTE: THIS DRAWING IS THE PROPERTY OF AURORA SIGN CO. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY MANNER WITHOUT WRITTEN CONSENT FROM AURORA SIGN CO. CHARGES OF UP TO \$200.00 WILL BE ASSESSED FOR ANY MIS-USE OF THESE DRAWINGS.

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EXHIBIT D

List of Requested Variances

Lighting Variance to Title 11, Chapter 9, Section 3-3G3a:

- Maximum levels at lot line: A maximum of 5.4 foot-candles along a portion of the south property line at the driveway to allow better visibility.

Sign Variance to Title 11, Chapter 10, Section 3-2-B1a and c:

- Request for a 123.2 square foot wall sign on both the east and west facades. These facades are being requested in lieu of providing any wall signage on the south façade as permitted by Code.

Property of Cook County Clerk's Office

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EXHIBIT E Site Improvement Plans

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
REGISTRATION DIVISION
115 N. CLARK ST. ROOM 120
CHICAGO IL 60602-1387

COOK COUNTY CLERK OFFICE
REGISTRATION DIVISION
115 N. CLARK ST. ROOM 120
CHICAGO IL 60602-1387

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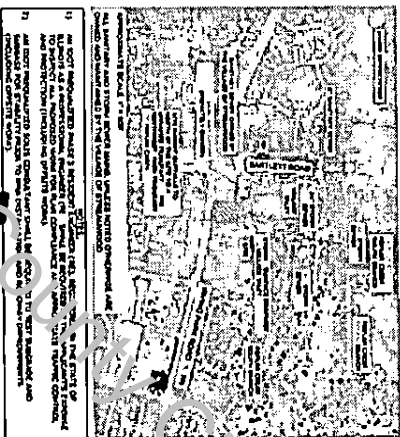
Contact the Metropolitan Water Reclamation District of Greater Chicago 2 days before starting work.

P (708) 588-4055
E WMOJobStart@mwrdd.org

EXTREME CLEAN CAR WASH

Streamwood, IL 60107
14 E Irving Park Road

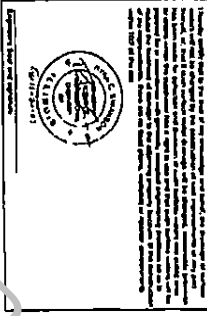
MWRD SEWER ROUTING MAP



1. MWRD shall be responsible for providing a routing map of all existing and proposed sewer lines within the project area. The routing map shall show the location, depth, and diameter of all sewer lines. The routing map shall also show the location of all manholes, catch basins, and other sewer infrastructure. The routing map shall be provided to the contractor at least 30 days before the start of construction.

GENERAL NOTES

- The contractor shall be responsible for providing a routing map of all existing and proposed sewer lines within the project area. The routing map shall show the location, depth, and diameter of all sewer lines. The routing map shall also show the location of all manholes, catch basins, and other sewer infrastructure. The routing map shall be provided to the contractor at least 30 days before the start of construction.
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OWNER: Car Wash Development of Streamwood
801 S. Edison Road, Suite 203
Streamwood, IL 60107
(708) 484-8423

ENGINEER: DESIGN RESOURCES INC.



Call Before You Dig
ILLINOIS ONE CALL SYSTEM
DIAL 811 OR (800) 882-4123



INDEX OF SHEETS

NO.	DESCRIPTION
1	GENERAL NOTES
2	SEWER ROUTING MAP
3	CONSTRUCTION SPECIFICATIONS
4	CONSTRUCTION DETAILS
5	UTILITY LOCATIONS
6	APPROVALS
7	UTILITY OFFICIALS
8	CONTRACT ADMINISTRATION
9	CONTRACT ADMINISTRATION
10	CONTRACT ADMINISTRATION
11	CONTRACT ADMINISTRATION
12	CONTRACT ADMINISTRATION
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49	CONTRACT ADMINISTRATION
50	CONTRACT ADMINISTRATION

APPROVAL	UTILITY OFFICIALS
<p>APPROVAL</p> <p>NAME OF ENGINEER</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>	<p>UTILITY OFFICIALS</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>
<p>SEWER DISTRICT:</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>	<p>PUBLIC WORKS DEPARTMENT:</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>
<p>WATER DEPARTMENT:</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>	<p>ELECTRIC:</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>
<p>CABLE TELEVISION:</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>	<p>GAS:</p> <p>NAME</p> <p>DATE</p> <p>DESIGN RESOURCES INC.</p>

DESIGN RESOURCES INC.

14 E Irving Park Road
Streamwood, IL 60107
Good Quality

EXTREME CLEAN CAR WASH

14 E Irving Park Road
Streamwood, IL 60107
Good Quality

DESIGN RESOURCES INC.

21166
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EARTHWORK NOTES

1. All earthwork shall be in accordance with the specifications for earthwork in the Standard Specifications for Highway Construction, Section 200, and the following notes.

2. All earthwork shall be done in accordance with the following notes:

1. All earthwork shall be done in accordance with the following notes:
2. All earthwork shall be done in accordance with the following notes:
3. All earthwork shall be done in accordance with the following notes:
4. All earthwork shall be done in accordance with the following notes:
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6. All earthwork shall be done in accordance with the following notes:
7. All earthwork shall be done in accordance with the following notes:
8. All earthwork shall be done in accordance with the following notes:
9. All earthwork shall be done in accordance with the following notes:
10. All earthwork shall be done in accordance with the following notes:

GENERAL PAVING NOTES

1. All paving shall be in accordance with the specifications for paving in the Standard Specifications for Highway Construction, Section 300, and the following notes.

2. All paving shall be done in accordance with the following notes:

1. All paving shall be done in accordance with the following notes:
2. All paving shall be done in accordance with the following notes:
3. All paving shall be done in accordance with the following notes:
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6. All paving shall be done in accordance with the following notes:
7. All paving shall be done in accordance with the following notes:
8. All paving shall be done in accordance with the following notes:
9. All paving shall be done in accordance with the following notes:
10. All paving shall be done in accordance with the following notes:

PAVEMENT MARKING NOTES

1. All pavement marking shall be in accordance with the specifications for pavement marking in the Standard Specifications for Highway Construction, Section 305, and the following notes.

2. All pavement marking shall be done in accordance with the following notes:

1. All pavement marking shall be done in accordance with the following notes:
2. All pavement marking shall be done in accordance with the following notes:
3. All pavement marking shall be done in accordance with the following notes:
4. All pavement marking shall be done in accordance with the following notes:
5. All pavement marking shall be done in accordance with the following notes:
6. All pavement marking shall be done in accordance with the following notes:
7. All pavement marking shall be done in accordance with the following notes:
8. All pavement marking shall be done in accordance with the following notes:
9. All pavement marking shall be done in accordance with the following notes:
10. All pavement marking shall be done in accordance with the following notes:

STORM SEWER NOTES

1. All storm sewer work shall be in accordance with the specifications for storm sewer in the Standard Specifications for Highway Construction, Section 205, and the following notes.

2. All storm sewer work shall be done in accordance with the following notes:

1. All storm sewer work shall be done in accordance with the following notes:
2. All storm sewer work shall be done in accordance with the following notes:
3. All storm sewer work shall be done in accordance with the following notes:
4. All storm sewer work shall be done in accordance with the following notes:
5. All storm sewer work shall be done in accordance with the following notes:
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10. All storm sewer work shall be done in accordance with the following notes:

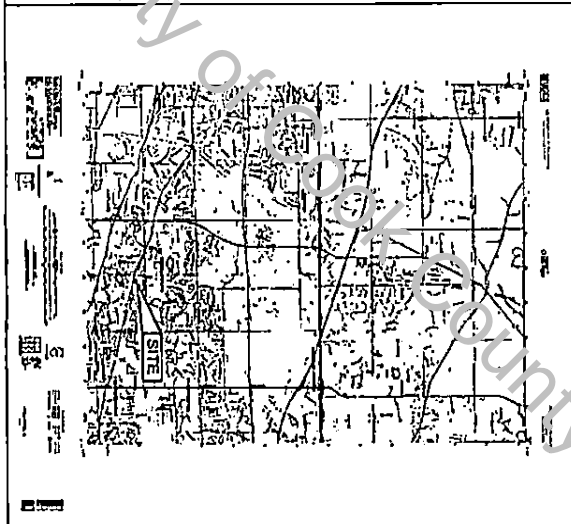
DEMOLITION NOTES

1. All demolition work shall be in accordance with the specifications for demolition in the Standard Specifications for Highway Construction, Section 200, and the following notes.

2. All demolition work shall be done in accordance with the following notes:

1. All demolition work shall be done in accordance with the following notes:
2. All demolition work shall be done in accordance with the following notes:
3. All demolition work shall be done in accordance with the following notes:
4. All demolition work shall be done in accordance with the following notes:
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6. All demolition work shall be done in accordance with the following notes:
7. All demolition work shall be done in accordance with the following notes:
8. All demolition work shall be done in accordance with the following notes:
9. All demolition work shall be done in accordance with the following notes:
10. All demolition work shall be done in accordance with the following notes:

USGS MAP



WATER UTILITY NOTES

1. All water utility work shall be in accordance with the specifications for water utility in the Standard Specifications for Highway Construction, Section 200, and the following notes.

2. All water utility work shall be done in accordance with the following notes:

1. All water utility work shall be done in accordance with the following notes:
2. All water utility work shall be done in accordance with the following notes:
3. All water utility work shall be done in accordance with the following notes:
4. All water utility work shall be done in accordance with the following notes:
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8. All water utility work shall be done in accordance with the following notes:
9. All water utility work shall be done in accordance with the following notes:
10. All water utility work shall be done in accordance with the following notes:

SANITARY SEWER NOTES

1. All sanitary sewer work shall be in accordance with the specifications for sanitary sewer in the Standard Specifications for Highway Construction, Section 200, and the following notes.

2. All sanitary sewer work shall be done in accordance with the following notes:

1. All sanitary sewer work shall be done in accordance with the following notes:
2. All sanitary sewer work shall be done in accordance with the following notes:
3. All sanitary sewer work shall be done in accordance with the following notes:
4. All sanitary sewer work shall be done in accordance with the following notes:
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7. All sanitary sewer work shall be done in accordance with the following notes:
8. All sanitary sewer work shall be done in accordance with the following notes:
9. All sanitary sewer work shall be done in accordance with the following notes:
10. All sanitary sewer work shall be done in accordance with the following notes:

DESIGN
RESOURCES INC.
14 E Irving Park Road
Schaumburg, IL 60196
630-230-1100
www.designresourcesinc.com

EXTREME CLEAN
CAR WASH
14 E Irving Park Road
Schaumburg, IL 60196
630-230-1100
www.extremeclean.com

Blank box for stamp or signature.

NO.	DESCRIPTION	DATE	BY
1	DESIGN		
2	CONSTRUCTION		
3	INSPECTION		
4	AS-BUILT		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

GENERAL NOTES

21166
C01

Property of Cook County Clerk

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TECHNICAL GUIDANCE
MWRD GENERAL NOTES

STD. NO. 8
PAGE NO. 19

1. GENERAL NOTES:

- The contractor shall be responsible for the design and construction of the following:
 - 1.1. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of wastewater.
 - 1.2. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of stormwater.
 - 1.3. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of industrial wastewater.
 - 1.4. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of combined sewer overflow (CSO).
 - 1.5. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of sanitary sewage.
 - 1.6. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of industrial effluent.
 - 1.7. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of other wastewater.
- The contractor shall be responsible for the design and construction of the following:
 - 2.1. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of wastewater.
 - 2.2. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of stormwater.
 - 2.3. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of industrial wastewater.
 - 2.4. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of CSO.
 - 2.5. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of sanitary sewage.
 - 2.6. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of industrial effluent.
 - 2.7. All structures, including but not limited to, bridges, culverts, and structures for the collection, treatment, and disposal of other wastewater.

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	PRICE	TOTAL
1.00	CONCRETE	CU YD	100	100.00	10000.00
2.00	STEEL	TON	50	50.00	2500.00
3.00	BRICK	SQ YD	200	200.00	40000.00
4.00	CEMENT	TON	100	100.00	10000.00
5.00	AGGREGATE	CU YD	200	200.00	40000.00
6.00	PAINT	SQ YD	100	100.00	10000.00
7.00	LABOR	HR	10000	100.00	1000000.00
8.00	EQUIPMENT	HR	1000	100.00	100000.00
9.00	PERMITS	NO.	10	100.00	1000.00
10.00	INSURANCE	MONTH	12	100.00	1200.00
11.00	PROFIT	%	10	100000.00	100000.00
12.00	TOTAL				1160000.00

2. MATERIALS AND METHODS:

- The contractor shall use the following materials and methods:
 - 2.1. All concrete shall be made with Type I/II cement, clean sand, and crushed stone.
 - 2.2. All steel shall be made with A36 steel.
 - 2.3. All brick shall be made with common brick.
 - 2.4. All cement shall be made with Type I/II cement.
 - 2.5. All aggregate shall be made with clean sand and crushed stone.
 - 2.6. All paint shall be made with a high quality paint.
 - 2.7. All labor shall be made with experienced workers.
 - 2.8. All equipment shall be made with modern equipment.
 - 2.9. All permits shall be made with the appropriate permits.
 - 2.10. All insurance shall be made with a high quality insurance.
- The contractor shall use the following materials and methods:
 - 3.1. All concrete shall be made with Type I/II cement, clean sand, and crushed stone.
 - 3.2. All steel shall be made with A36 steel.
 - 3.3. All brick shall be made with common brick.
 - 3.4. All cement shall be made with Type I/II cement.
 - 3.5. All aggregate shall be made with clean sand and crushed stone.
 - 3.6. All paint shall be made with a high quality paint.
 - 3.7. All labor shall be made with experienced workers.
 - 3.8. All equipment shall be made with modern equipment.
 - 3.9. All permits shall be made with the appropriate permits.
 - 3.10. All insurance shall be made with a high quality insurance.

3. CONSTRUCTION SCHEDULE:

- The contractor shall complete the following construction schedule:
 - 3.1. All construction shall be completed within 12 months.
 - 3.2. All construction shall be completed within 18 months.
 - 3.3. All construction shall be completed within 24 months.
 - 3.4. All construction shall be completed within 30 months.
 - 3.5. All construction shall be completed within 36 months.
 - 3.6. All construction shall be completed within 42 months.
 - 3.7. All construction shall be completed within 48 months.
 - 3.8. All construction shall be completed within 54 months.
 - 3.9. All construction shall be completed within 60 months.
 - 3.10. All construction shall be completed within 66 months.
 - 3.11. All construction shall be completed within 72 months.
 - 3.12. All construction shall be completed within 78 months.
 - 3.13. All construction shall be completed within 84 months.
 - 3.14. All construction shall be completed within 90 months.
 - 3.15. All construction shall be completed within 96 months.
 - 3.16. All construction shall be completed within 102 months.
 - 3.17. All construction shall be completed within 108 months.
 - 3.18. All construction shall be completed within 114 months.
 - 3.19. All construction shall be completed within 120 months.

DESIGN RESOURCES INC.
14 E Irving Park Road
Streamwood, IL 60107
Cook County

EXTREME CLEAN CAR WASH
14 E Irving Park Road
Streamwood, IL 60107
Cook County

MWRD GENERAL NOTES

21166
C02

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DEVELOPER: BUILT CALL

0502839032
1 of 1

MASON'S RESUBDIVISION 2

Lot 1

Bartlett Road

Irving Park Road
(State Route 19)

14 E Irving Park Road
Streamwood, Illinois

LS080979
S-1

PLAT OF SUBDIVISION

Public Record
Page 1 of 1

Requested By: pm3mjan, Printed: 6/14/2022 6:57 PM

Doc: COOKI0902839032

NON-ORDER SEARCH

GENERAL DESCRIPTION

LEGAL DESCRIPTION

RECORDS OF DEEDS, RECORDS OF MORTGAGES

SCARLETT

SEAL OF COOK COUNTY

DESIGN
EST. 11-1974

EXTREME CLEAN CAR WASH

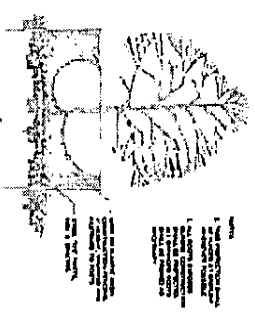
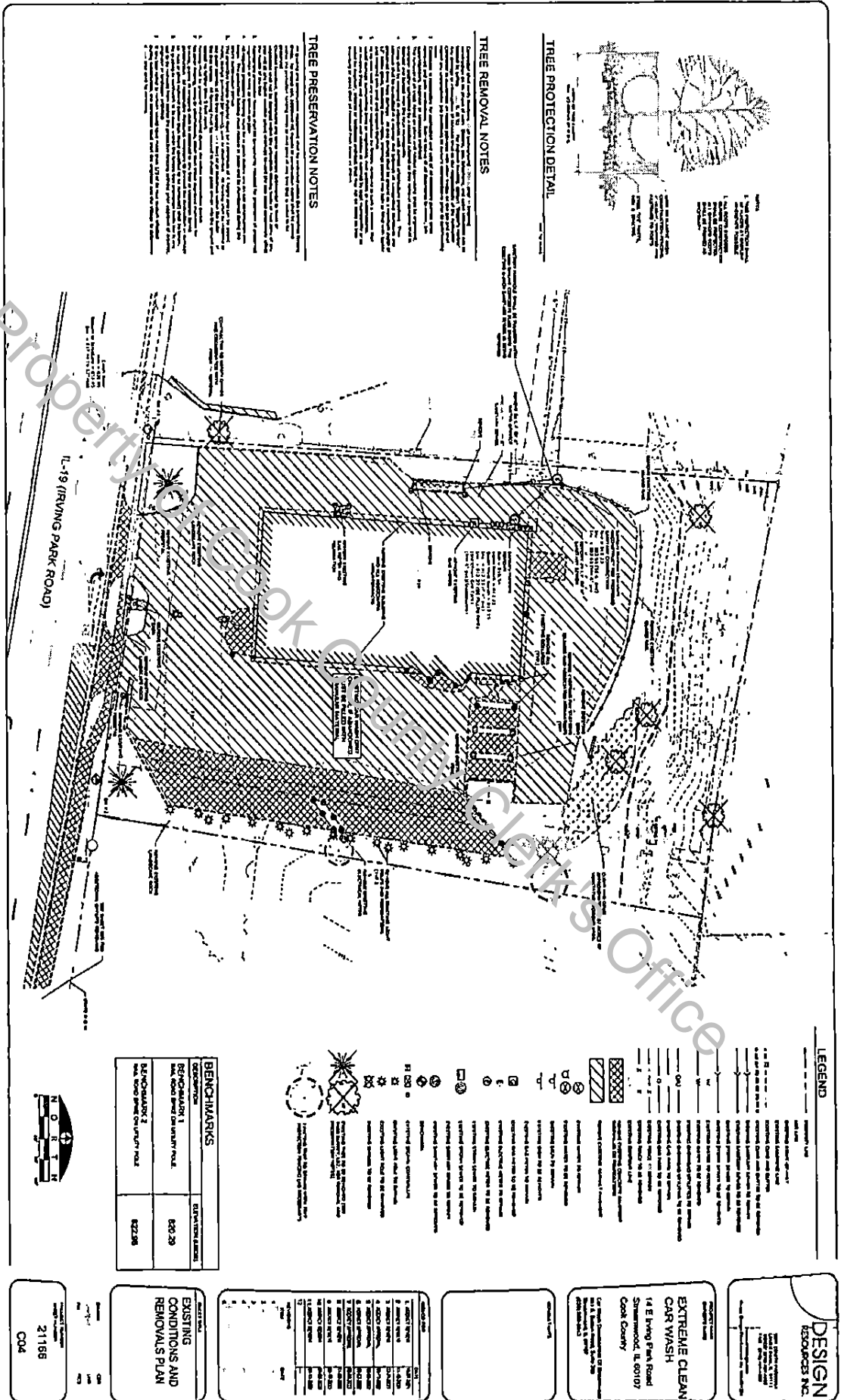
14 E Irving Park Road
Streamwood, IL 60070
Cook County

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11. DESCRIPTION	DATE
12. DESCRIPTION	DATE

MNRD EXHIBIT A

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TREE PROTECTION DETAIL

TREE REMOVAL NOTES

1. All trees to be removed shall be identified by a unique number and marked with a red 'X' on the plan.
2. All trees to be removed shall be removed within 30 days of the start of construction.
3. All trees to be removed shall be removed in a manner that minimizes damage to the surrounding site.
4. All trees to be removed shall be removed in a manner that minimizes damage to the surrounding site.
5. All trees to be removed shall be removed in a manner that minimizes damage to the surrounding site.

TREE PRESERVATION NOTES

1. All trees to be preserved shall be identified by a unique number and marked with a green circle on the plan.
2. All trees to be preserved shall be protected by a tree protection zone and barrier.
3. All trees to be preserved shall be protected by a tree protection zone and barrier.
4. All trees to be preserved shall be protected by a tree protection zone and barrier.
5. All trees to be preserved shall be protected by a tree protection zone and barrier.

LEGEND

- 1. Proposed Building Footprint
- 2. Existing Building Footprint
- 3. Proposed Parking
- 4. Existing Parking
- 5. Proposed Driveway
- 6. Existing Driveway
- 7. Proposed Landscaping
- 8. Existing Landscaping
- 9. Proposed Tree Protection Zone
- 10. Existing Tree Protection Zone
- 11. Proposed Tree Protection Barrier
- 12. Existing Tree Protection Barrier
- 13. Proposed Tree Protection Sign
- 14. Existing Tree Protection Sign
- 15. Proposed Tree Removal
- 16. Existing Tree Removal
- 17. Proposed Tree Preservation
- 18. Existing Tree Preservation
- 19. Proposed Tree Preservation Zone
- 20. Existing Tree Preservation Zone
- 21. Proposed Tree Preservation Barrier
- 22. Existing Tree Preservation Barrier
- 23. Proposed Tree Preservation Sign
- 24. Existing Tree Preservation Sign

BENCHMARKS	
BENCHMARK 1 14 E Irving Park Road Oak Brook, IL 60117	622.29
BENCHMARK 2 14 E Irving Park Road Oak Brook, IL 60117	622.29



DESIGN RESOURCES INC.
 14 E Irving Park Road
 Oak Brook, IL 60117
 Phone: (708) 571-1111
 Fax: (708) 571-1112
 Email: info@designresourcesinc.com

EXTREME CLEAN CAR WASH
 14 E Irving Park Road
 Oak Brook, IL 60117
 Cook County

NO.	DESCRIPTION	DATE
1	PRELIMINARY	11/15/18
2	REVISED	11/15/18
3	REVISED	11/15/18
4	REVISED	11/15/18
5	REVISED	11/15/18
6	REVISED	11/15/18
7	REVISED	11/15/18
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EXISTING CONDITIONS AND REMOVALS PLAN
 21166
 CP4

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ROLLED EROSION CONTROL PRODUCTS

STANDARD DISTRIBUTION BARRIERS PLAN

STANDARD DISTRIBUTION BARRIERS PLAN

INLET PROTECTION - PAVED AREAS
DRAIN-IN PROTECTION

INLET PROTECTION - IMPERVIOUS AREAS CURB PROTECTION

SILT FENCE PLAN

PROPERTY OF COOK COUNTY

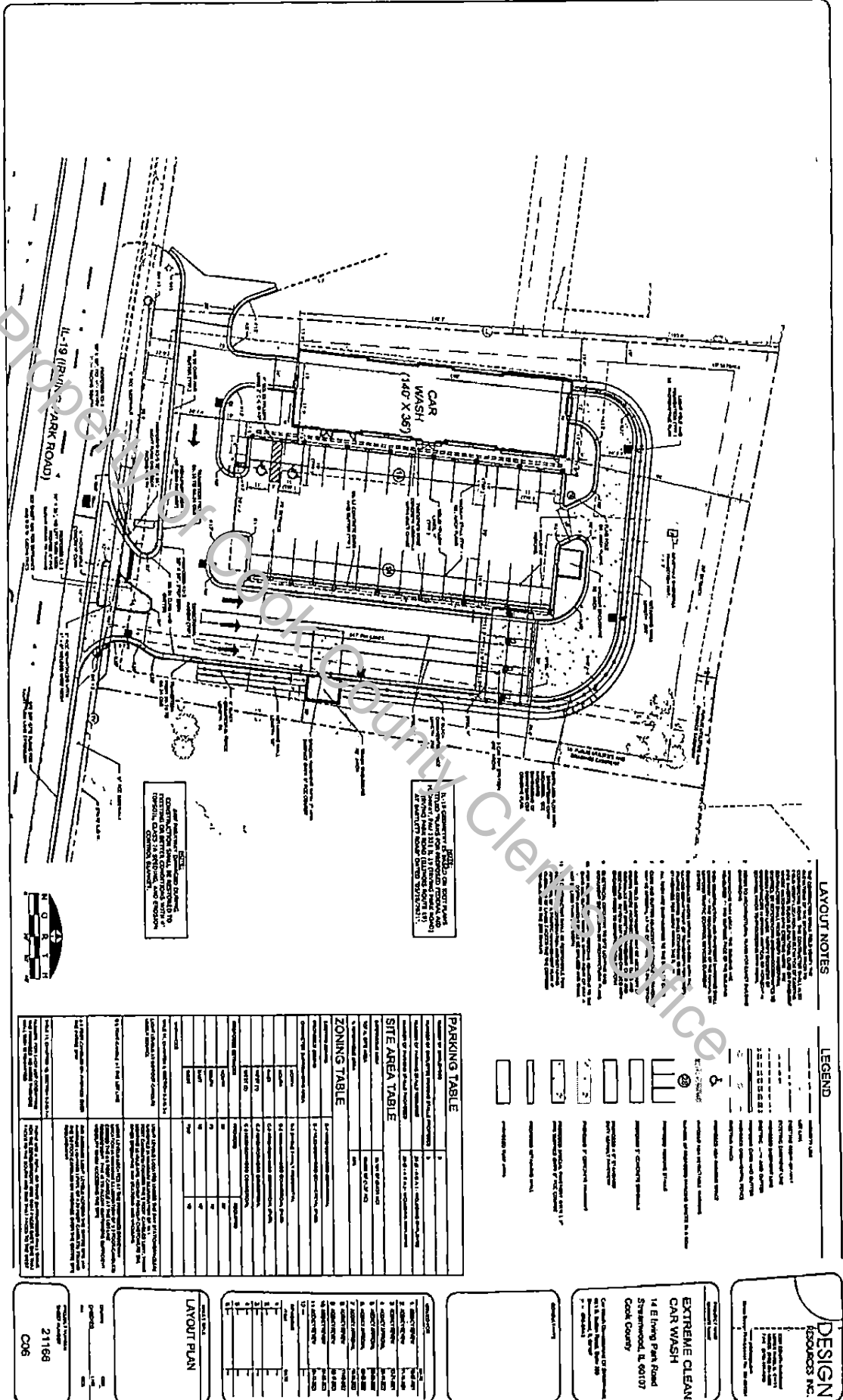
DESIGN RESOURCES INC.
14 E Irving Park Road
Schaumburg, IL 60197
Cook County

EXTREME CLEAN CAR WASH
14 E Irving Park Road
Schaumburg, IL 60197
Cook County

SWPPP DETAILS

21166
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LAYOUT NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.

2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

4. ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN THE EXISTING FINISH GRADE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND SIDEWALKS.

7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPING.

8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE.

9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LIGHTING.

10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING FENCES.

11. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS.

12. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT.

13. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.

14. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING STRUCTURES.

15. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LANDSCAPING.

16. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE.

17. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LIGHTING.

18. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING FENCES.

19. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS.

20. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT.

LEGEND

- 1. EXISTING DRIVEWAY
- 2. EXISTING SIDEWALK
- 3. EXISTING CURB
- 4. EXISTING UTILITY
- 5. EXISTING STRUCTURE
- 6. EXISTING LANDSCAPING
- 7. EXISTING SIGNAGE
- 8. EXISTING LIGHTING
- 9. EXISTING FENCE
- 10. EXISTING DRIVEWAY
- 11. EXISTING PAVEMENT
- 12. EXISTING UTILITY
- 13. EXISTING STRUCTURE
- 14. EXISTING LANDSCAPING
- 15. EXISTING SIGNAGE
- 16. EXISTING LIGHTING
- 17. EXISTING FENCE
- 18. EXISTING DRIVEWAY
- 19. EXISTING PAVEMENT
- 20. EXISTING UTILITY
- 21. EXISTING STRUCTURE
- 22. EXISTING LANDSCAPING
- 23. EXISTING SIGNAGE
- 24. EXISTING LIGHTING
- 25. EXISTING FENCE

It is recommended that the owner consult with the local planning and zoning department for any applicable regulations and requirements.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.

PARKING TABLE

Category	Quantity
Handicap	2
Senior	2
Other	10
Total	14

SITE AREA TABLE

Area	Area (sq ft)
Building	5040
Parking	10000
Landscaping	2000
Other	1000
Total	18040

ZONING TABLE

Code	Description
1-1	Single-Family Residential
1-2	Two-Family Residential
1-3	Three-Family Residential
1-4	Four-Family Residential
1-5	Five-Family Residential
1-6	Six-Family Residential
1-7	Seven-Family Residential
1-8	Eight-Family Residential
1-9	Nine-Family Residential
1-10	Ten-Family Residential

DESIGN RESOURCES INC.
 14 Elving Park Road
 Streamwood, IL 60107
 Cook County
 (708) 431-1111
 www.designresourcesinc.com

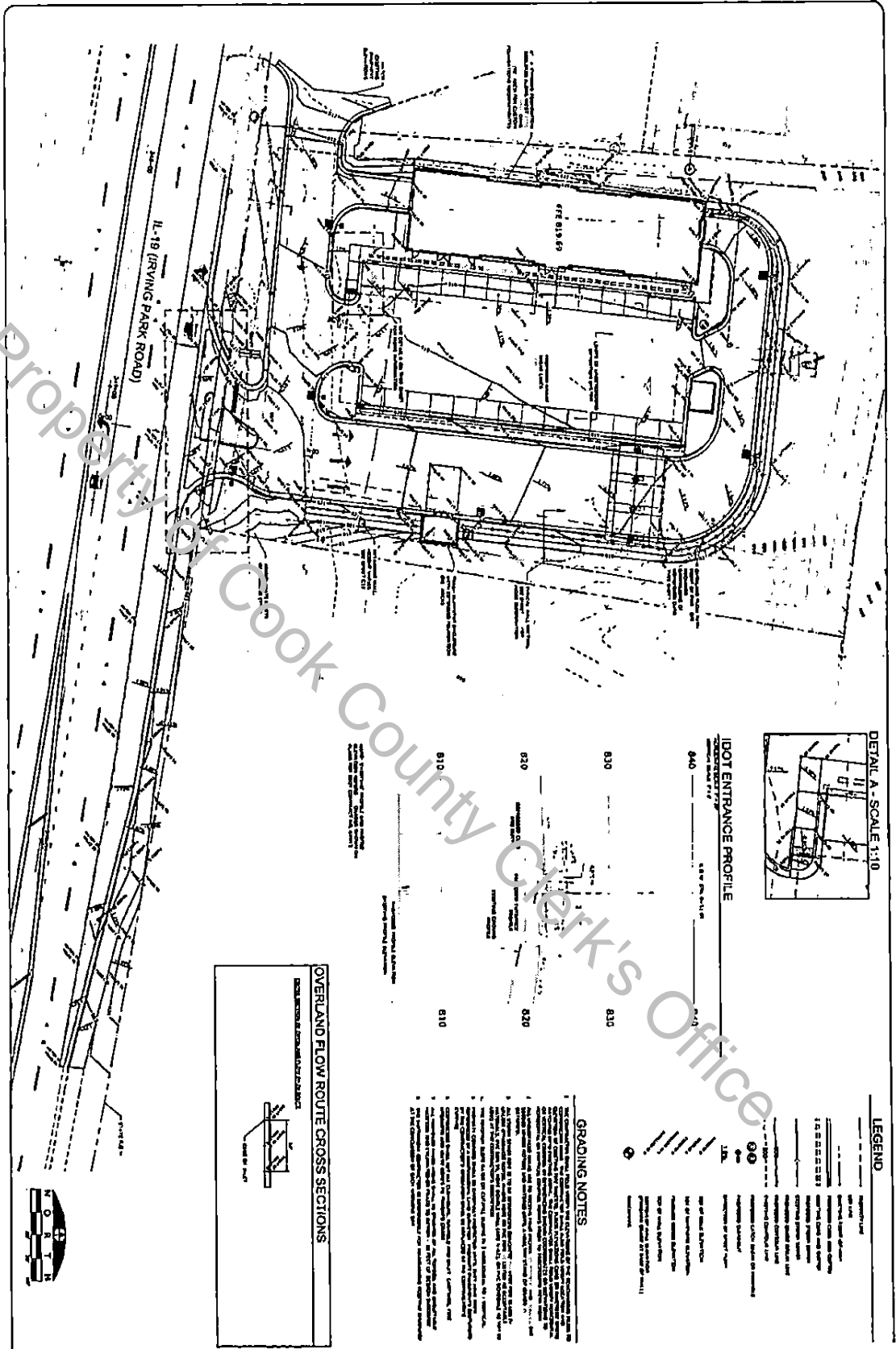
EXTREME CLEAN CAR WASH
 14 Elving Park Road
 Streamwood, IL 60107
 Cook County

Project Name
 Project Address
 Project City, State, Zip
 Project Phone
 Project Email

LAYOUT PLAN
 Scale: 1/8" = 1'-0"
 Date: 11/11/2024
 Drawn by: [Name]
 Checked by: [Name]

21168 C06

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DETAIL A - SCALE 1"=10'

IDOT ENTRANCE PROFILE

SECTION CUT 1/2"

SECTION CUT 1/2"

SECTION CUT 1/2"

SECTION CUT 1/2"

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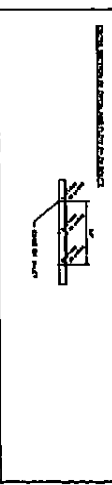
LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED GRADE WITH 2% SLOPE
- PROPOSED GRADE WITH 4% SLOPE
- PROPOSED GRADE WITH 6% SLOPE
- PROPOSED GRADE WITH 8% SLOPE
- PROPOSED GRADE WITH 10% SLOPE
- PROPOSED GRADE WITH 12% SLOPE
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- PROPOSED GRADE WITH 94% SLOPE
- PROPOSED GRADE WITH 96% SLOPE
- PROPOSED GRADE WITH 98% SLOPE
- PROPOSED GRADE WITH 100% SLOPE

GRADING NOTES

1. ALL EXISTING GRADES ARE TO BE MAINTAINED UNLESS OTHERWISE NOTED.
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OVERLAND FLOW ROUTE CROSS SECTIONS



DESIGN
RESOURCES INC

EXTREME CLEAN
CAR WASH
14 E Irving Park Road
Streamwood, IL 60107
Cook County

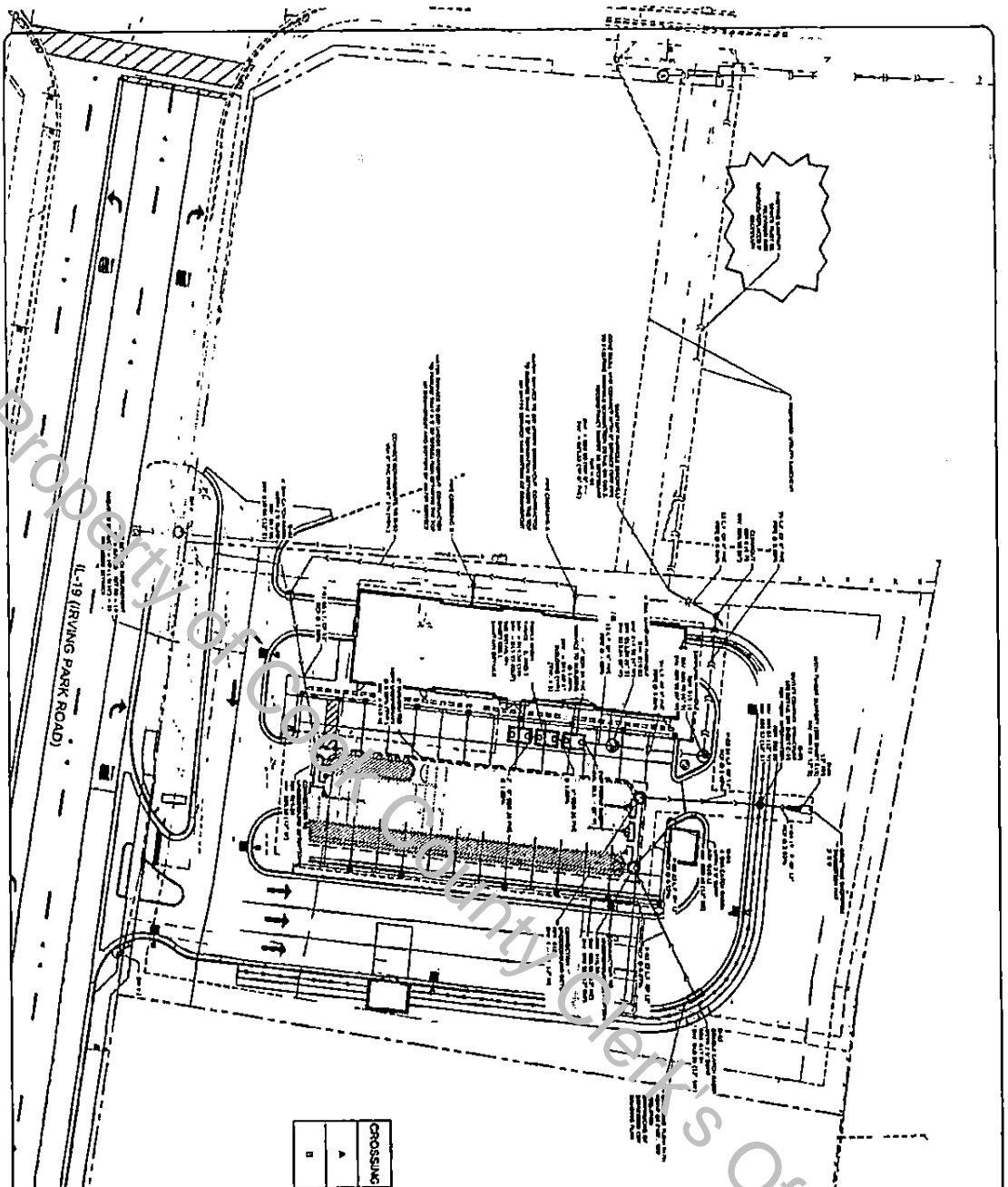
City of Streamwood, IL
14 E Irving Park Road
Streamwood, IL 60107
Cook County

NO.	DESCRIPTION	DATE	BY
1	DESIGN	11/11/11	J. J. J.
2	REVISION	11/11/11	J. J. J.
3	REVISION	11/11/11	J. J. J.
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49	REVISION	11/11/11	J. J. J.
50	REVISION	11/11/11	J. J. J.

GRADING PLAN

21168
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LEGEND

- 12" DIA. 15' DEPTH MANHOLE
- 18" DIA. 15' DEPTH MANHOLE
- 24" DIA. 15' DEPTH MANHOLE
- 30" DIA. 15' DEPTH MANHOLE
- 36" DIA. 15' DEPTH MANHOLE
- 42" DIA. 15' DEPTH MANHOLE
- 48" DIA. 15' DEPTH MANHOLE
- 54" DIA. 15' DEPTH MANHOLE
- 60" DIA. 15' DEPTH MANHOLE
- 66" DIA. 15' DEPTH MANHOLE
- 72" DIA. 15' DEPTH MANHOLE
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- 84" DIA. 15' DEPTH MANHOLE
- 90" DIA. 15' DEPTH MANHOLE
- 96" DIA. 15' DEPTH MANHOLE
- 102" DIA. 15' DEPTH MANHOLE
- 108" DIA. 15' DEPTH MANHOLE
- 114" DIA. 15' DEPTH MANHOLE
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- 126" DIA. 15' DEPTH MANHOLE
- 132" DIA. 15' DEPTH MANHOLE
- 138" DIA. 15' DEPTH MANHOLE
- 144" DIA. 15' DEPTH MANHOLE
- 150" DIA. 15' DEPTH MANHOLE
- 156" DIA. 15' DEPTH MANHOLE
- 162" DIA. 15' DEPTH MANHOLE
- 168" DIA. 15' DEPTH MANHOLE
- 174" DIA. 15' DEPTH MANHOLE
- 180" DIA. 15' DEPTH MANHOLE
- 186" DIA. 15' DEPTH MANHOLE
- 192" DIA. 15' DEPTH MANHOLE
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- 210" DIA. 15' DEPTH MANHOLE
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- 252" DIA. 15' DEPTH MANHOLE
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- 264" DIA. 15' DEPTH MANHOLE
- 270" DIA. 15' DEPTH MANHOLE
- 276" DIA. 15' DEPTH MANHOLE
- 282" DIA. 15' DEPTH MANHOLE
- 288" DIA. 15' DEPTH MANHOLE
- 294" DIA. 15' DEPTH MANHOLE
- 300" DIA. 15' DEPTH MANHOLE

NOTE: THE PROPOSED AND EXISTING SYSTEMS ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING SYSTEMS AND MAKE ANY NECESSARY CHANGES TO THE SYSTEMS TO BE INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CROSSING	PIPE 1 (TOP)	PIPE 2 (BOTTOM)	BOTTOM OF PIPE 1	TOP OF PIPE 2	CLEARANCE
A	60" DIA. 15' DEPTH	60" DIA. 15' DEPTH	812.72'	814.23'	1.5'
B	60" DIA. 15' DEPTH	60" DIA. 15' DEPTH	812.28'	813.79'	1.5'

BENCHMARKS

DESCRIPTION	ELEVATION (M)
BENCHMARK 1 SOUTH CORNER OF BUILDING	820.30
BENCHMARK 2 SOUTH CORNER OF DRIVEWAY	822.86

DESIGN
RESOURCES INC.

14 E Irving Park Road
Schaumburg, IL 60197
Cook County

**EXTREME CLEAN
CAR WASH**

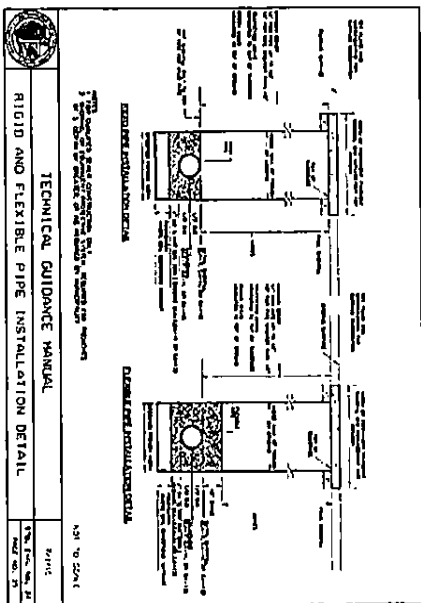
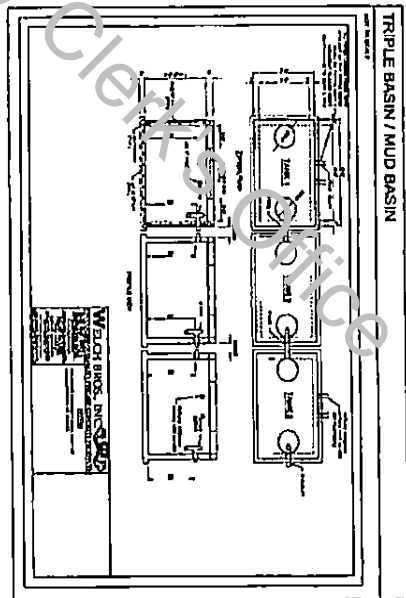
14 E Irving Park Road
Schaumburg, IL 60197
Cook County

SEWER PLAN

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Property of Cook County Clerk's Office



DESIGN
RESOURCES INC.
 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

EXTREME CLEAN
CAR WASH
 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

SAINT
 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

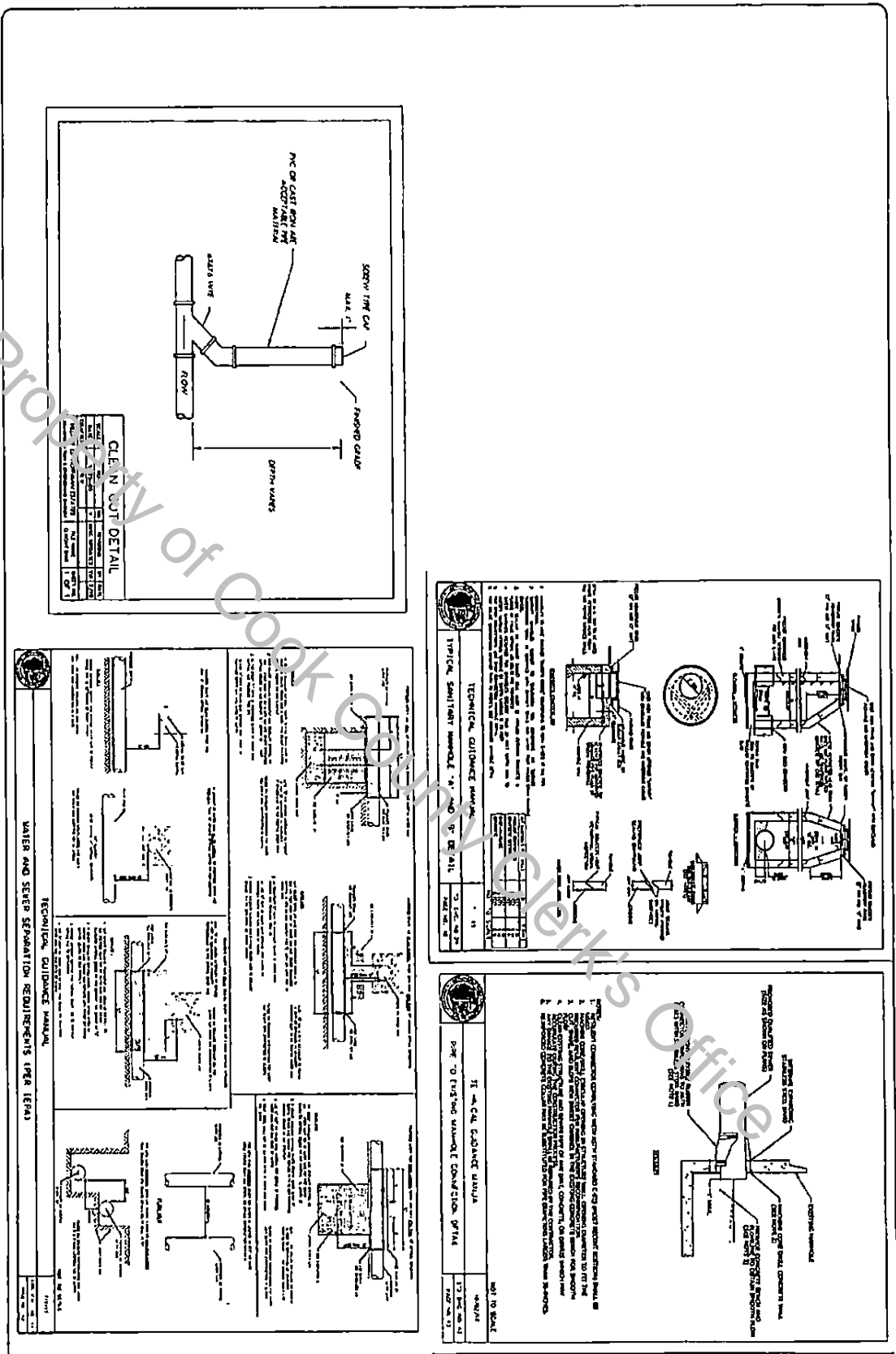
SAINT

NO.	DESCRIPTION	QTY	UNIT
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3	1/2" DIA. RIGID PIPE	100	LINEAL FEET
4	1/2" DIA. FLEXIBLE PIPE	100	LINEAL FEET
5	1/2" DIA. RIGID PIPE	100	LINEAL FEET
6	1/2" DIA. FLEXIBLE PIPE	100	LINEAL FEET
7	1/2" DIA. RIGID PIPE	100	LINEAL FEET
8	1/2" DIA. FLEXIBLE PIPE	100	LINEAL FEET
9	1/2" DIA. RIGID PIPE	100	LINEAL FEET
10	1/2" DIA. FLEXIBLE PIPE	100	LINEAL FEET

SAINT
SAINT
SAINT

21166
COB.1

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RESOURCES INC.

14 E Living Park Road
Surreywood, N. S.W. 1570
COOK COUNTY

21166
C08.2

EXTREME CLEAN CAR WASH

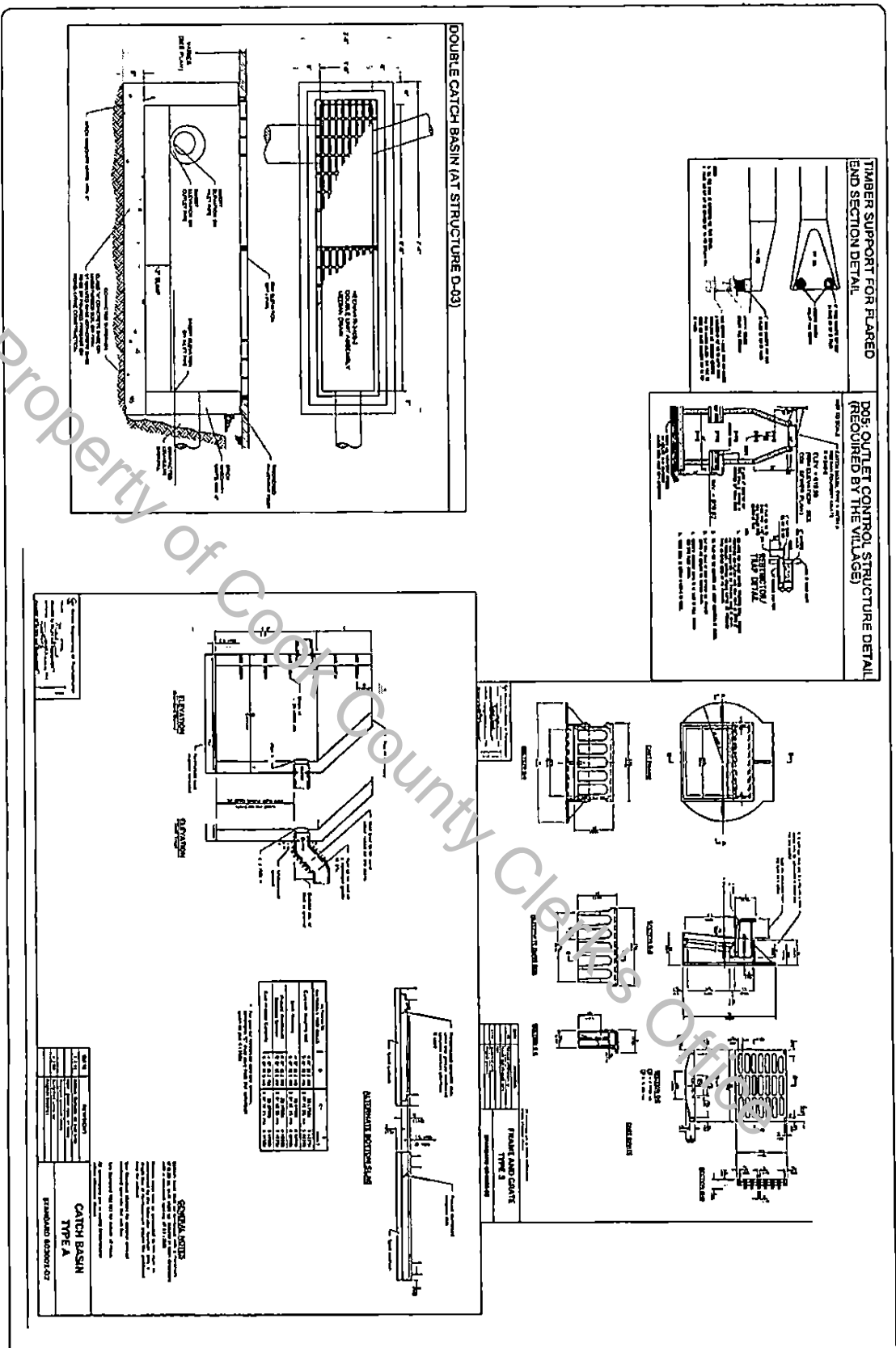
14 E Living Park Road
Surreywood, N. S.W. 1570
COOK COUNTY

SAANITARY DETAILS

1. SINK	1.5
2. TOILET	1.5
3. SHOWER	1.5
4. SINK	1.5
5. TOILET	1.5
6. SHOWER	1.5
7. SINK	1.5
8. TOILET	1.5
9. SHOWER	1.5
10. SINK	1.5
11. TOILET	1.5
12. SHOWER	1.5

NOT TO SCALE

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DESIGN RESOURCES INC.
 3000 N. WISCONSIN ST.
 SUITE 200
 CHICAGO, IL 60642
 TEL: 773.399.8800
 FAX: 773.399.8801
 WWW.DESIGNRESOURCESINC.COM

EXTREME CLEAN CAR WASH
 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

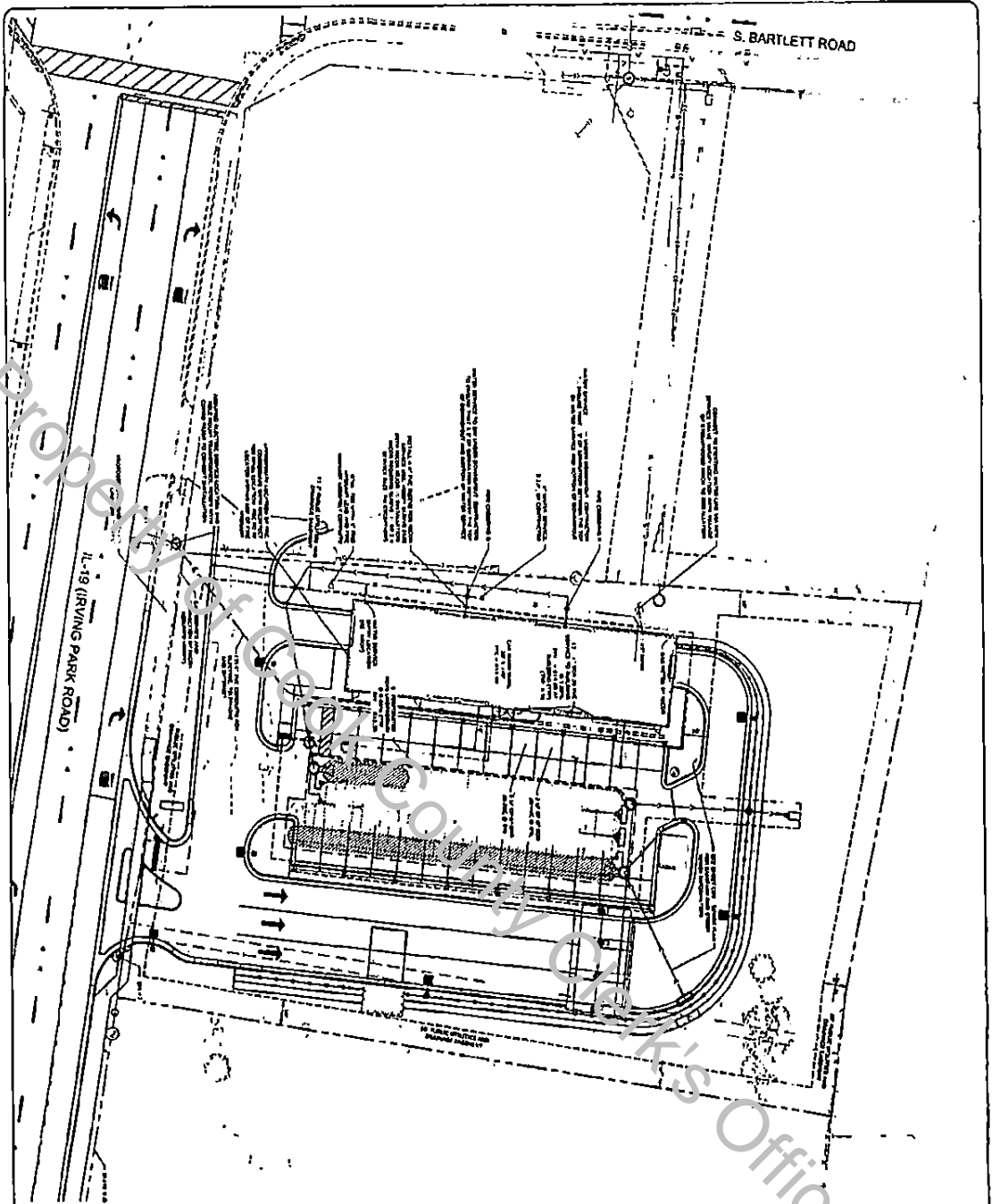
Project Name
Project No.
Scale
Date

NO.	DESCRIPTION	DATE
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92	92. REVISED	05/15/18
93	93. REVISED	06/15/18
94	94. REVISED	07/15/18
95	95. REVISED	08/15/18
96	96. REVISED	09/15/18
97	97. REVISED	10/15/18
98	98. REVISED	11/15/18
99	99. REVISED	12/15/18
100	100. REVISED	01/15/19

DRAINAGE DETAILS

21166
008.3

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BENCHMARKS	
BENCHMARK 1 State Road Right-of-Way Utility Pole	Station: 100+29
BENCHMARK 2 State Road Right-of-Way Utility Pole	Station: 102+08

UTILITY NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION AND DEPTH OF UTILITIES MAY VARY FROM THE SHOWN INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION.

5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT THE PROJECT.

6. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL DEPTHS AND SPACINGS.

7. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL MATERIALS AND TYPES.

8. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL LOCATIONS.

9. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL DIRECTIONS.

10. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL SIZES.

11. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL COLORS.

12. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL MARKINGS.

13. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL IDENTIFICATION.

14. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL RECORDS.

15. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AT THEIR ORIGINAL DATA.

LEGEND

- Water Main
- Sewer Main
- Gas Main
- Electric Main
- Telephone Main
- Cable Main
- Storm Sewer
- Sanitary Sewer
- Water Service
- Sewer Service
- Gas Service
- Electric Service
- Telephone Service
- Cable Service
- Storm Sewer
- Sanitary Sewer
- Water Service
- Sewer Service
- Gas Service
- Electric Service
- Telephone Service
- Cable Service

DESIGN
RESOURCES INC.

14 E Irving Park Road
Spartanburg, SC 29176
Cook County

EXTREME CLEAN
CAR WASH

14 E Irving Park Road
Spartanburg, SC 29176
Cook County

UTILITY PLAN

21166
C09

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PAVEMENT DETAILS

STANDARD DUTY ASPHALT PAVEMENT

CONCRETE PAVEMENT ON SITE

SPECIAL PAVEMENT AT TRASH ENCLOSURE

5" PCC SIDEWALK

CONCRETE SIDEWALK DETAILS

STANDARD SIDEWALK

THICKENED EDGE SIDEWALK

STANDARD SIDEWALK WITH DUCT BANK

ACCESSIBLE PARKING SIGN DETAIL

RESERVED PARKING 6550 FT 4

ACCESSIBLE SYMBOL

TYPICAL 90 DEGREE PARKING STRIPING DETAILS

80' STANDARD STALLS

80' ADA STALLS

PAVEMENT MATERIALS

ASPHALT

CONCRETE

AGGREGATE

FINISHES

DESIGN

RESOURCES INC

14 E Hwy 100
Schaumburg, IL 60197
Cook County

EXTREME CLEAN

CAR WASH

14 E Hwy 100
Schaumburg, IL 60197
Cook County

DETAILS

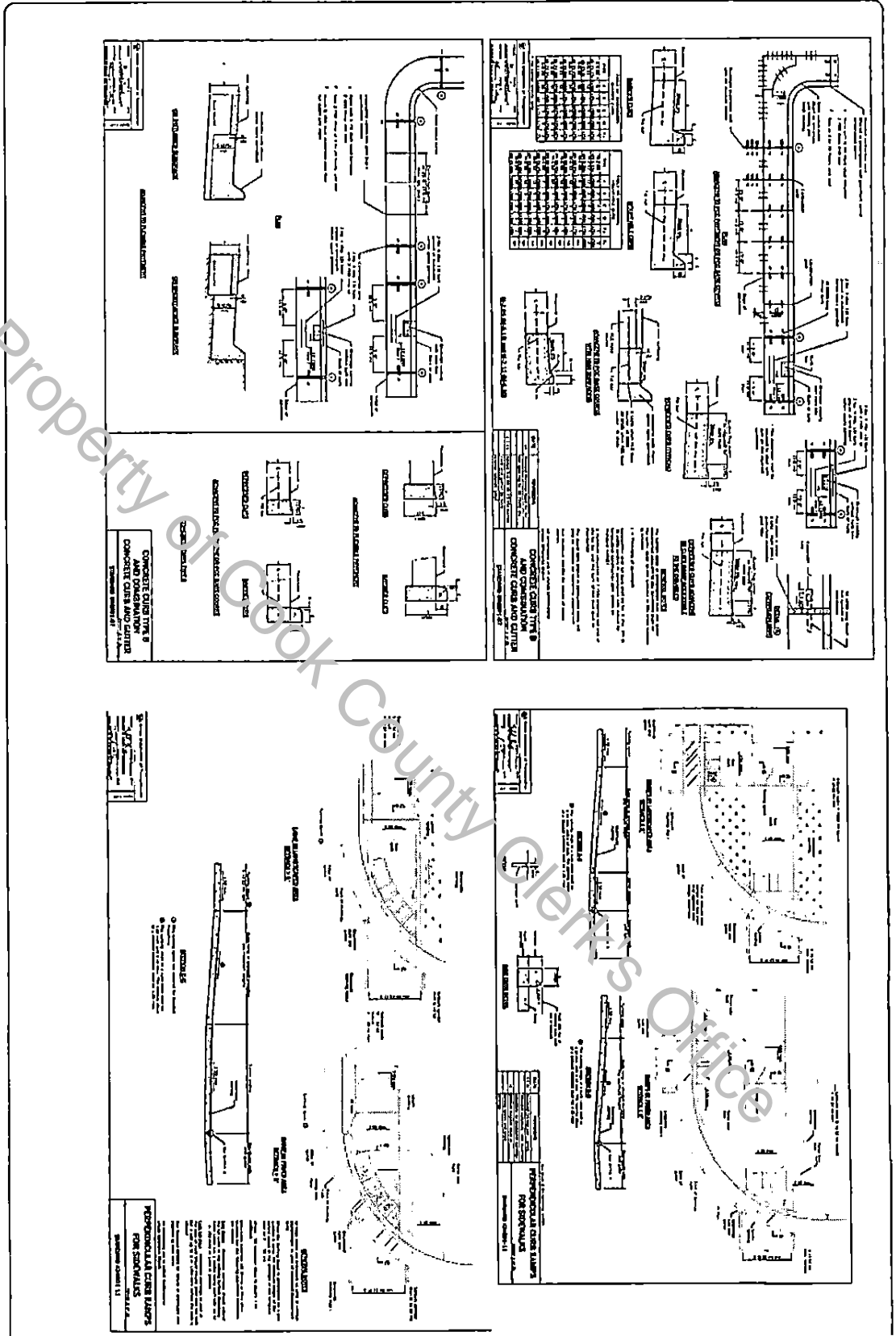
21166

CT10

REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT	11/11/2024
2	ISSUED FOR PERMIT	11/11/2024
3	ISSUED FOR PERMIT	11/11/2024
4	ISSUED FOR PERMIT	11/11/2024
5	ISSUED FOR PERMIT	11/11/2024
6	ISSUED FOR PERMIT	11/11/2024
7	ISSUED FOR PERMIT	11/11/2024
8	ISSUED FOR PERMIT	11/11/2024
9	ISSUED FOR PERMIT	11/11/2024
10	ISSUED FOR PERMIT	11/11/2024

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DESIGN
RESOURCES INC.
14 E Irving Park Road
Schaumburg, IL 60107
Cook County

EXTREME CLEAN
CAR WASH
14 E Irving Park Road
Schaumburg, IL 60107
Cook County

Project Name: _____
Project No: _____
Date: _____

NO.	DESCRIPTION	DATE	BY
1	DESIGN	11/11/11	...
2	DESIGN	11/11/11	...
3	DESIGN	11/11/11	...
4	DESIGN	11/11/11	...
5	DESIGN	11/11/11	...
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DETAILS
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Project No: 21166
Sheet No: C11

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DESIGN RESOURCES INC.
 1000 W. Lake Street
 Suite 200
 Chicago, IL 60606
 Tel: 773.334.4444
 Fax: 773.334.4445
 www.designresources.com

EXTREME CLEAN CAR WASH
 14 E Irving Park Road
 Schaumburg, IL 60197
 Cook County

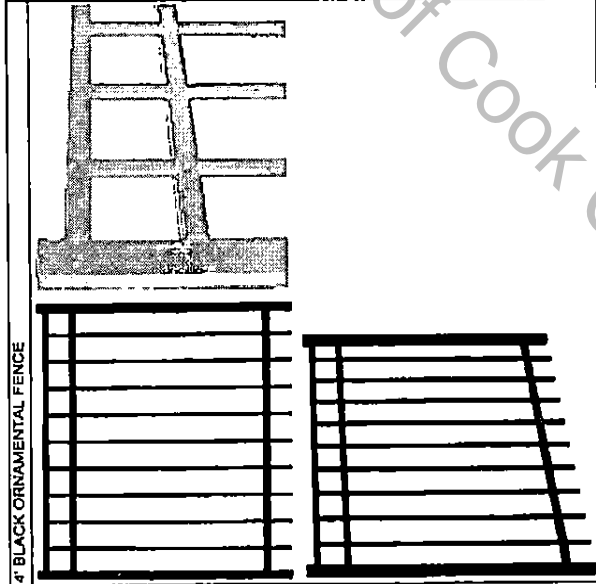
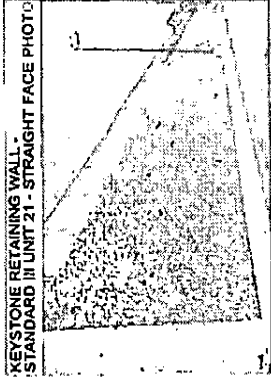
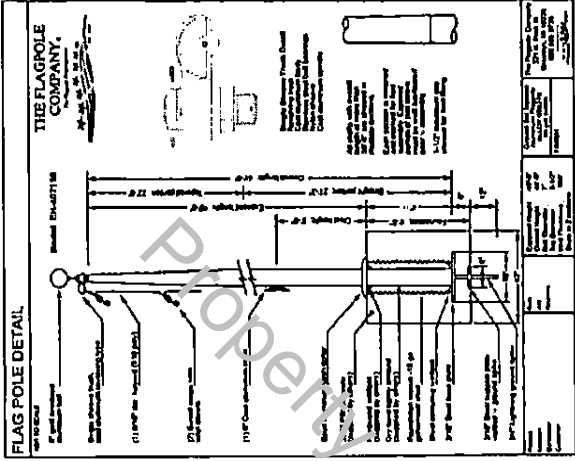
Contract No. 2010-001-001
 2010-001-001-001
 2010-001-001-001

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
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20	REVISION	

DETAILS

21166
 C12



Property of Cook County Clerk's Office

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DESIGN
INC.

14 E Irving Park Road
Streamwood, IL 60107
Tel: 630.330.1000
Fax: 630.330.1001

**EXTREME CLEAN
CAR WASH**

14 E Irving Park Road
Streamwood, IL 60107
Cook County

On the Premises of Streamwood
14 E Irving Park Road
Streamwood, IL 60107
(630) 330-1000

Project Name

Project No.

NO.	DESCRIPTION	DATE
1	REVISED	10/15/11
2	REVISED	10/15/11
3	REVISED	10/15/11
4	REVISED	10/15/11
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100	REVISED	10/15/11

ADS DETAILS

Project No.

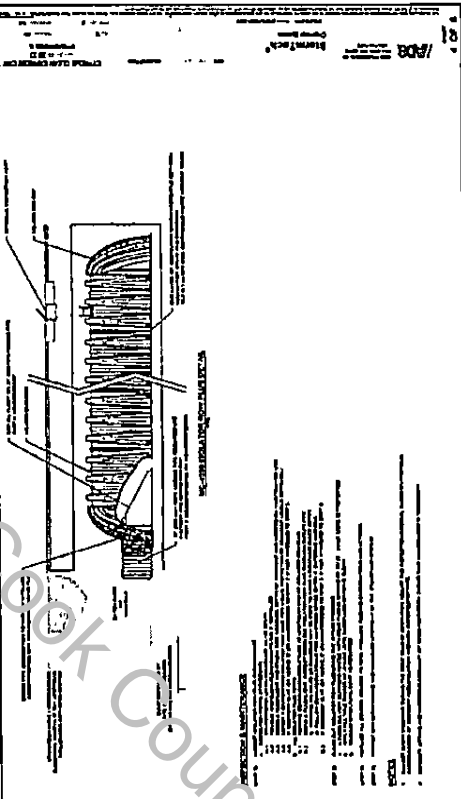
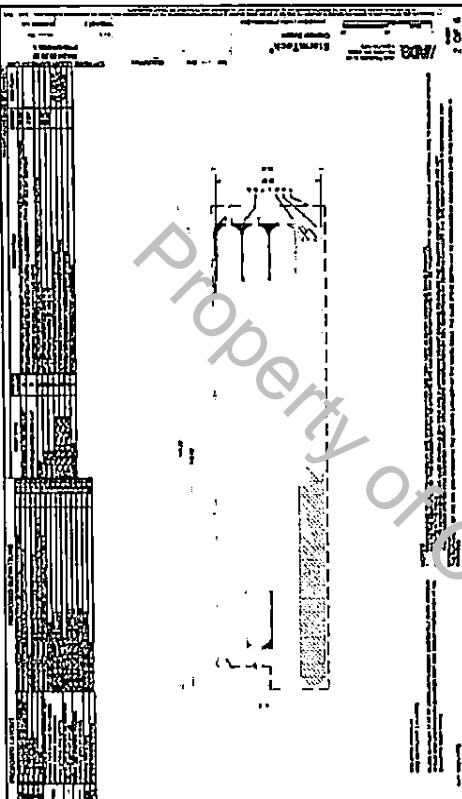
Project Name

Project Location

Project Date

Project Status

21166
C13



ADS

EXTREME CLEAN EXPRESS CAR WASH 09.20.22
STREAMWOOD, IL

ACCEPTABLES P.L.L.C. MULTIPHASE ROTORTECH INC-CAR CHAMBER SYSTEMS

MC-4500 ROTORTECH CHAMBER SPECIFICATIONS

1. The chamber shall be constructed of 304 stainless steel with a minimum thickness of 1/4 inch.

2. The chamber shall be designed to withstand a maximum pressure of 150 PSI.

3. The chamber shall be equipped with a pressure relief valve set at 150 PSI.

4. The chamber shall be equipped with a safety interlock system that prevents the chamber from closing unless the car is properly positioned.

5. The chamber shall be equipped with a temperature control system that maintains the water temperature between 120 and 140 degrees Fahrenheit.

6. The chamber shall be equipped with a water level control system that maintains the water level at a constant height.

7. The chamber shall be equipped with a drainage system that collects and disposes of wastewater.

8. The chamber shall be equipped with a ventilation system that provides fresh air to the interior of the chamber.

9. The chamber shall be equipped with a lighting system that provides adequate illumination for the interior of the chamber.

10. The chamber shall be equipped with a control panel that allows the operator to start and stop the wash cycle.

11. The chamber shall be equipped with a safety door that can be opened in an emergency.

12. The chamber shall be equipped with a warning system that alerts the operator if there is a problem with the chamber.

13. The chamber shall be equipped with a maintenance access panel that allows the operator to service the chamber.

14. The chamber shall be equipped with a cleanability system that allows the operator to clean the interior of the chamber.

15. The chamber shall be equipped with a noise reduction system that minimizes the noise generated by the chamber.

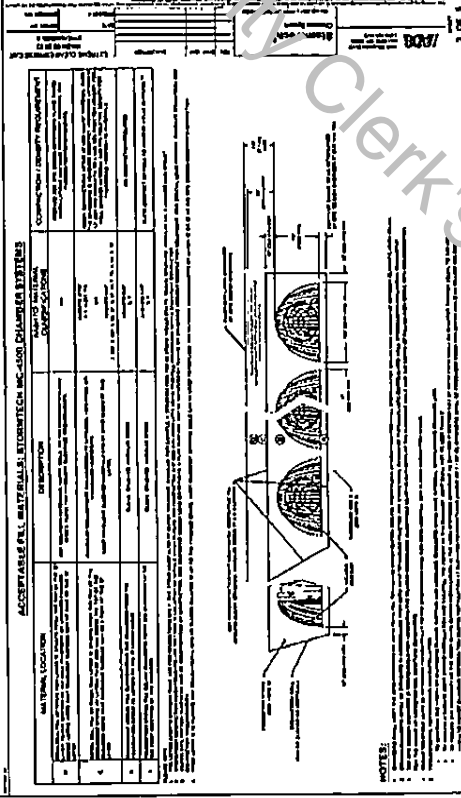
16. The chamber shall be equipped with a corrosion resistance system that protects the chamber from rust and corrosion.

17. The chamber shall be equipped with a safety system that prevents the chamber from closing if there is a person inside.

18. The chamber shall be equipped with a fire safety system that detects and extinguishes fires.

19. The chamber shall be equipped with a security system that prevents unauthorized access to the chamber.

20. The chamber shall be equipped with a monitoring system that tracks the performance of the chamber.



Property of Cook County Clerk's Office

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DESIGN RESOURCES INC
 1000 Lakeside Drive
 Suite 100
 Springfield, IL 62761
 Phone: 217-244-1111
 Fax: 217-244-1112

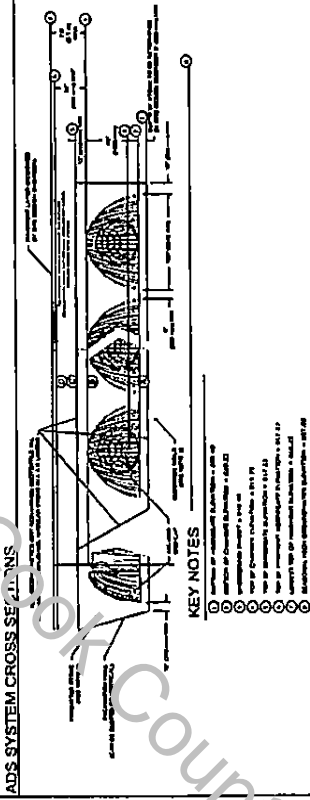
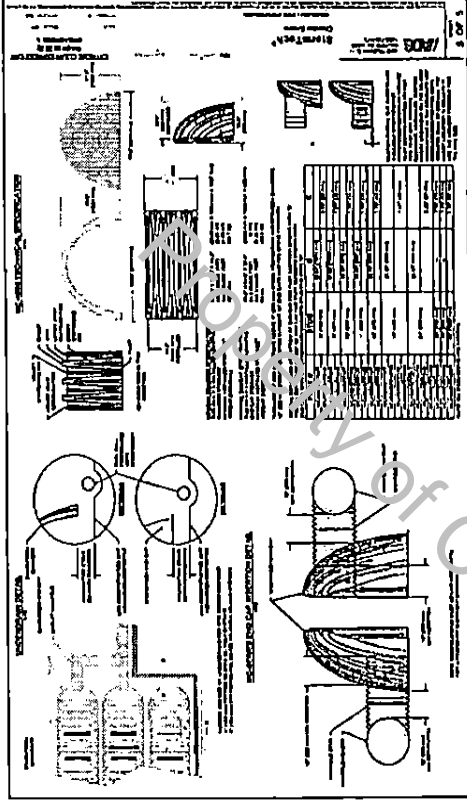
EXTREME CLEAN CAR WASH
 14 E Irving Park Road
 Streamwood, IL 60157
 Cook County

PROJECT NO. _____
 SHEET NO. _____

NO.	DESCRIPTION	DATE
1	DESIGN	11/15/11
2	REVISION	11/15/11
3	REVISION	11/15/11
4	REVISION	11/15/11
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6	REVISION	11/15/11
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12	REVISION	11/15/11
13	REVISION	11/15/11

ADS DETAILS

PROJECT NO. 21166
 SHEET NO. C13



KEY NOTES

1. SEE PLAN FOR ADVERTISED SIGNAGE
2. SEE PLAN FOR ADVERTISED SIGNAGE
3. SEE PLAN FOR ADVERTISED SIGNAGE
4. SEE PLAN FOR ADVERTISED SIGNAGE
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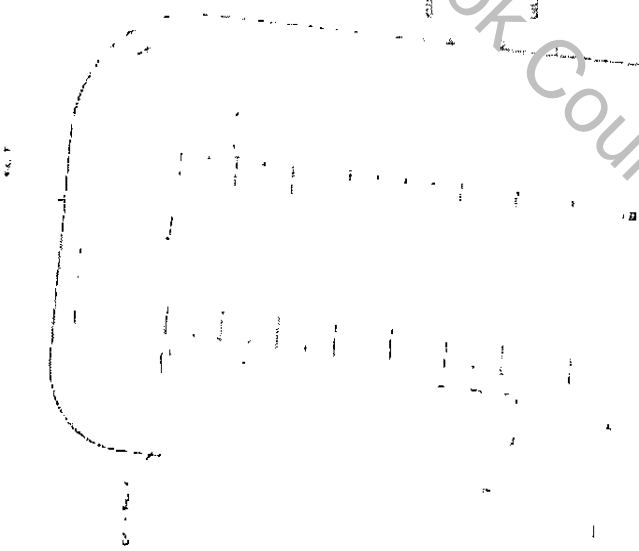
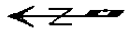
VOLUME CONTROL SUMMARY

VOLUME TYPE	DEPTH	PERCENTAGE	VOLUME PROVIDED
Vc-VALE T STORAGE (BELOW UD INVERT)	1.00	100%	0.023 AC-FT
V8-COURSE AGGREGATE (BELOW UD INVERT)	0.36	36%	0.038 AC-FT
V6 (above Invert)	0.17	36%	0.008 AC-FT
TOTAL			0.069 AC-FT

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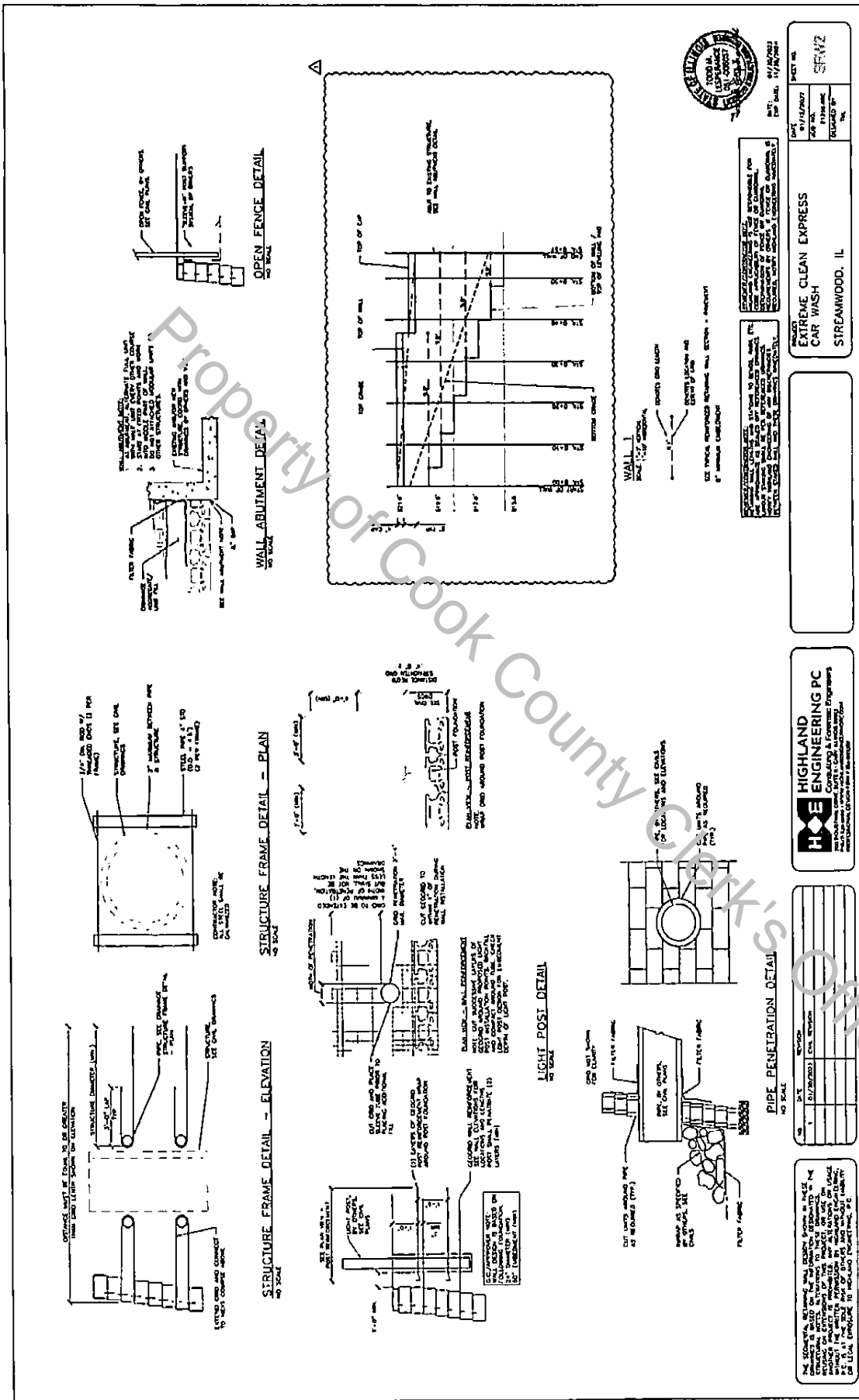


SRWO
Professional Engineer
No. 111111111
Exp. 12/31/2025



Highland Engineering PC
Professional Engineer
No. 111111111
Exp. 12/31/2025

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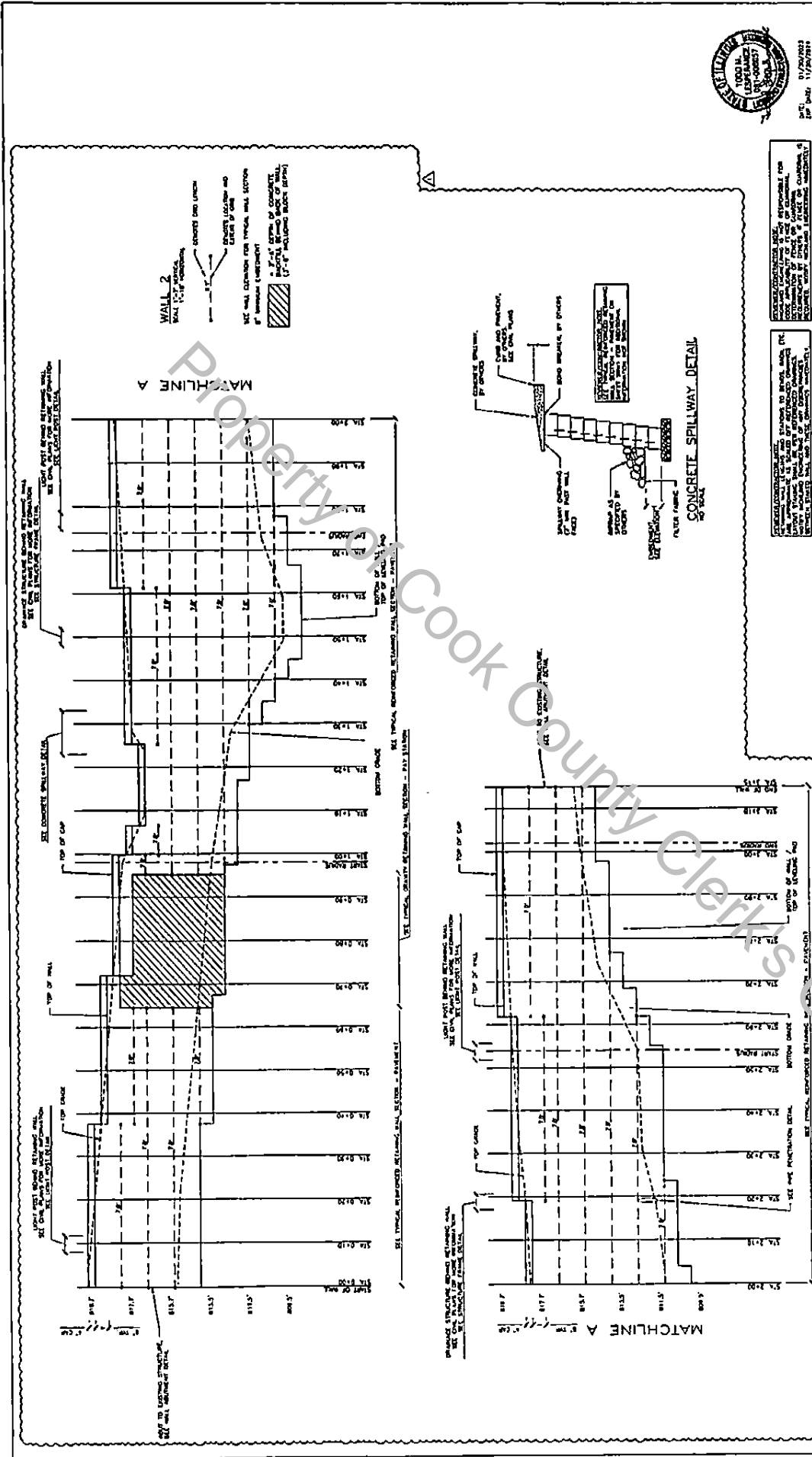


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DATE: 11/27/2019
BY: [Signature]

SHEET NO. **SRW3**
DATE: 11/27/2019
PROJECT: **EXTREME CLEAN EXPRESS CAR WASH**
DRAWN BY: [Signature]



THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

HIGHLAND ENGINEERING PC
Civil, Structural & Mechanical Engineers
1111 N. WASHINGTON ST., SUITE 200
DEERFIELD, IL 60015
TEL: 847.944.1111
WWW.HIGHLANDENGINEERING.COM

NO.	DATE	REVISION
1	11/27/2019	DATE REVISION

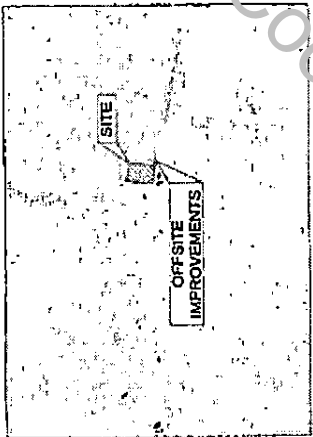
THIS DRAWING IS THE PROPERTY OF HIGHLAND ENGINEERING PC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF HIGHLAND ENGINEERING PC.

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EXTREME CLEAN CAR WASH

Streamwood, IL 60107
14 E Irving Park Road

VICINITY MAP

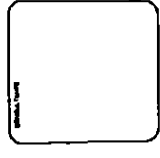


PROJECT SHEETS
SHEET NUMBER SHEET TITLE
401 COVER (OFF-SITE WORK)
402 OFF-SITE DETAILS
403 OFF-SITE DETAILS
404 OFF-SITE DETAILS
405 OFF-SITE DETAILS
406 OFF-SITE DETAILS
407 OFF-SITE DETAILS
408 OFF-SITE DETAILS
409 OFF-SITE DETAILS
410 OFF-SITE DETAILS

EXTREME CLEAN CAR WASH
14 E Irving Park Road
Streamwood, IL 60107
Cook County
On File with Cook County Health Department
On File with Cook County Planning Department
On File with Cook County Public Works Department



EXTREME CLEAN CAR WASH
14 E Irving Park Road
Streamwood, IL 60107
Cook County



NO.	DESCRIPTION	DATE	BY
1	DESIGN		
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20	DESIGN		

COVER (OFF-SITE WORK)

21166
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GENERAL NOTES

1. The design is based on the information provided in the permit application and site visit. The design is subject to change if the information provided is found to be incomplete or incorrect.
2. The design is based on the information provided in the permit application and site visit. The design is subject to change if the information provided is found to be incomplete or incorrect.
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20. The design is based on the information provided in the permit application and site visit. The design is subject to change if the information provided is found to be incomplete or incorrect.

APPROVAL

NAME OF ENGINEER
ADDRESS
CITY
STATE
ZIP

NAME OF ARCHITECT
ADDRESS
CITY
STATE
ZIP

NAME OF CONTRACTOR
ADDRESS
CITY
STATE
ZIP

UTILITY OFFICIALS

PUBLIC WORKS DEPARTMENT
ATTN: PUBLIC WORKS DEPARTMENT
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

WATER DEPARTMENT
ATTN: WATER DEPARTMENT
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

CABLE TELEVISION
ATTN: CABLE TELEVISION
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

SEWER DISTRICT
ATTN: SEWER DISTRICT
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

ELECTRIC
ATTN: ELECTRIC
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

IDOT STATIONING DATA

STATIONING DATA
FROM THE CENTERLINE OF THE HIGHWAY TO THE CENTERLINE OF THE HIGHWAY

IDOT STANDARDS

STANDARD 101
STANDARD 102
STANDARD 103
STANDARD 104
STANDARD 105
STANDARD 106
STANDARD 107
STANDARD 108
STANDARD 109
STANDARD 110
STANDARD 111
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STANDARD 147
STANDARD 148
STANDARD 149
STANDARD 150

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APPROVAL

NAME OF ENGINEER
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STATE
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NAME OF ARCHITECT
ADDRESS
CITY
STATE
ZIP

NAME OF CONTRACTOR
ADDRESS
CITY
STATE
ZIP

UTILITY OFFICIALS

PUBLIC WORKS DEPARTMENT
ATTN: PUBLIC WORKS DEPARTMENT
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

WATER DEPARTMENT
ATTN: WATER DEPARTMENT
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

CABLE TELEVISION
ATTN: CABLE TELEVISION
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

SEWER DISTRICT
ATTN: SEWER DISTRICT
1111 N. LAKE STREET
CHICAGO, IL 60642
PHONE: (773) 348-3000

ELECTRIC
ATTN: ELECTRIC
1111 N. LAKE STREET
CHICAGO, IL 60642
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INC

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Schaumburg, IL 60197
630-205-1100
www.designinc.com

**EXTREME CLEAN
CAR WASH**

14 E Irving Park Road
Schaumburg, IL 60197
Cook County

Our Office: Schaumburg, IL 60197
Tel: 630-205-1100
Fax: 630-205-1101

CONTRACT NO.

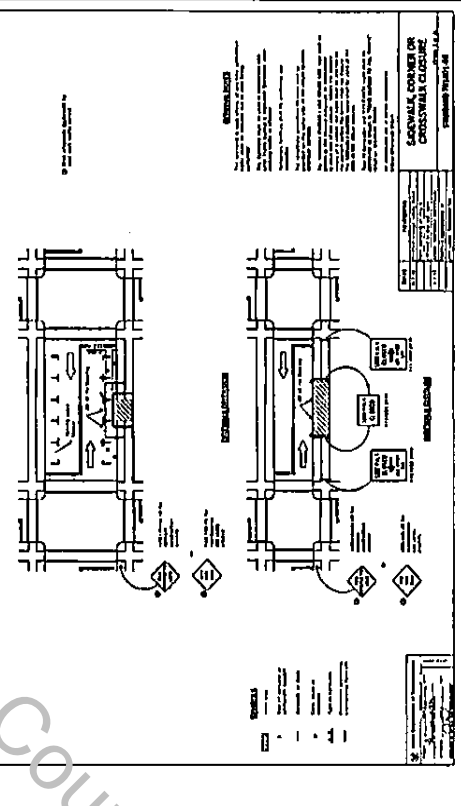
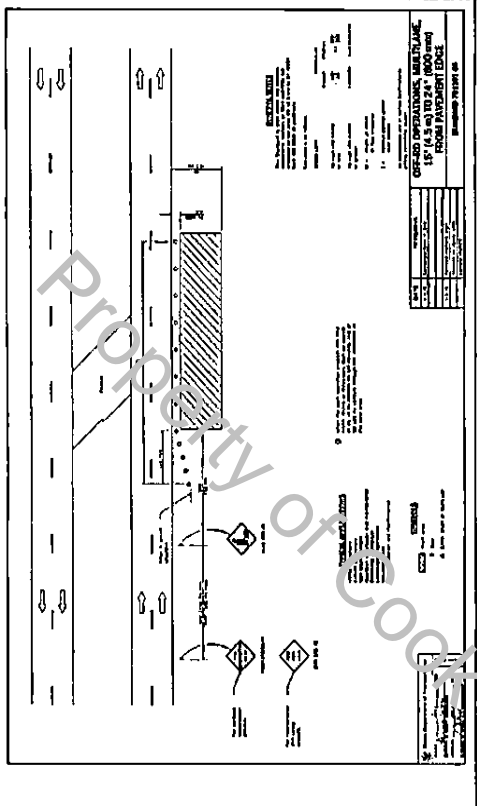
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18	CONTRACT	11/11/11
19	CONTRACT	11/11/11
20	CONTRACT	11/11/11

**NOTES AND
DETAILS**

PROJECT NO.
21166
R01

TRAFFIC CONTROL NOTES

1. All traffic control devices shall be installed in accordance with the Manual on Uniform Traffic Control Devices (MUTCD) 2003 Edition, 8th Edition, and any subsequent revisions.
2. All traffic control devices shall be installed in accordance with the Illinois Traffic Control Manual, 2003 Edition, and any subsequent revisions.
3. All traffic control devices shall be installed in accordance with the Illinois Traffic Control Manual, 2003 Edition, and any subsequent revisions.



SUMMARY OF QUANTITIES

1. This summary of quantities is based on the quantities shown on the drawings and is for informational purposes only. It does not constitute a contract or a guarantee of the accuracy of the quantities shown.

Item #	Description	Unit	Quantity
1	CONTRACT	EA	1
2	CONTRACT	EA	1
3	CONTRACT	EA	1
4	CONTRACT	EA	1
5	CONTRACT	EA	1
6	CONTRACT	EA	1
7	CONTRACT	EA	1
8	CONTRACT	EA	1
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15	CONTRACT	EA	1
16	CONTRACT	EA	1
17	CONTRACT	EA	1
18	CONTRACT	EA	1
19	CONTRACT	EA	1
20	CONTRACT	EA	1

IDOT BDE WORK ZONE TRAFFIC CONTROL DEVICES

1. All traffic control devices shall be installed in accordance with the Manual on Uniform Traffic Control Devices (MUTCD) 2003 Edition, 8th Edition, and any subsequent revisions.

2. All traffic control devices shall be installed in accordance with the Illinois Traffic Control Manual, 2003 Edition, and any subsequent revisions.

3. All traffic control devices shall be installed in accordance with the Illinois Traffic Control Manual, 2003 Edition, and any subsequent revisions.

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 1500 N. WILSON ROAD
 SUITE 100
 WILSONVILLE, IL 60181
 PHONE: (708) 441-1111
 FAX: (708) 441-1112
 WWW.DRINC.COM

EXTREME CLEAN CAR WASH
 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

Civil & Mechanical Engineering
 1111 N. WILSON ROAD
 WILSONVILLE, IL 60181
 (708) 441-1111

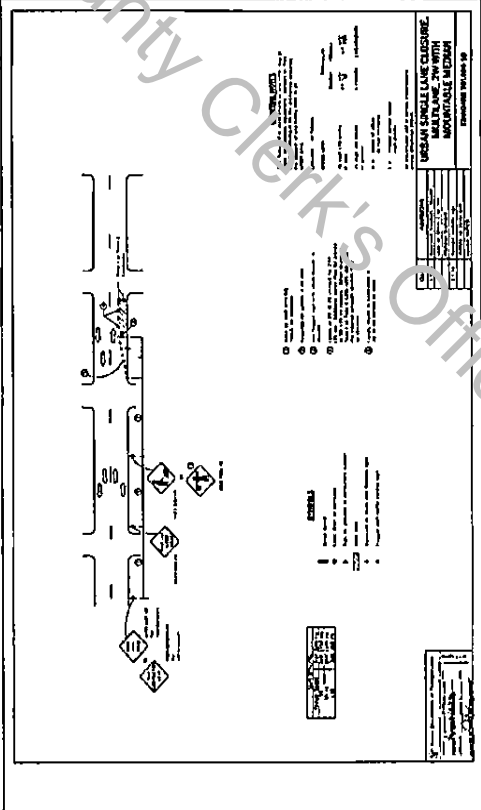
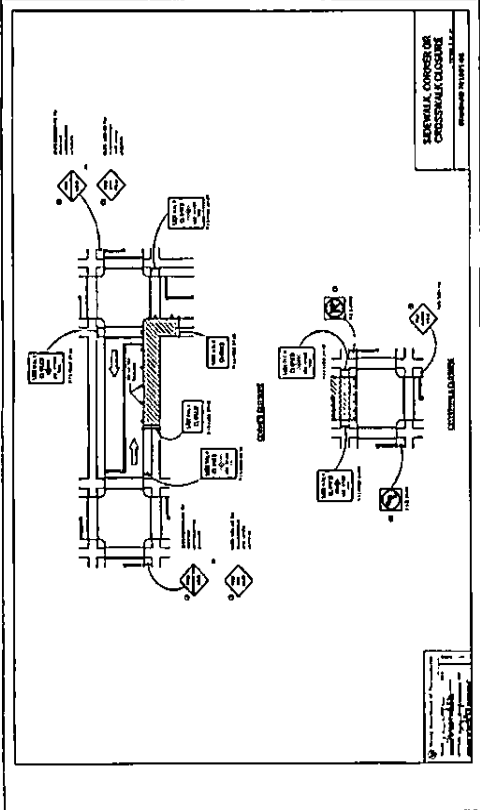
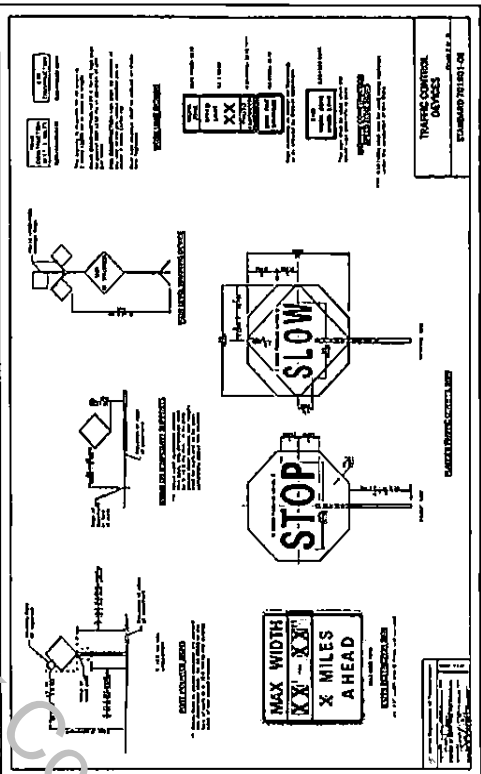
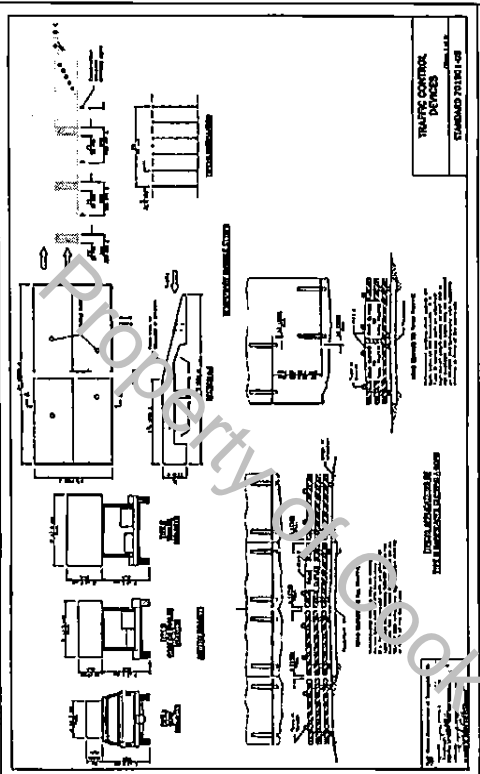
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 SCALE: _____
 SHEET NO: _____

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19	ISSUED FOR PERMITS	11/15/11	DR
20	ISSUED FOR PERMITS	11/15/11	DR

DETAILS

DATE: _____
 SCALE: _____
 SHEET NO: _____

PROJECT NUMBER: **21166**
 SHEET NUMBER: **R02**



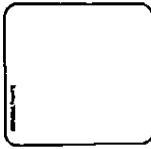
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Streamwood, IL 60107
Cook County

**EXTREME CLEAN
CAR WASH**

14 E Irving Park Road
Streamwood, IL 60107
Cook County

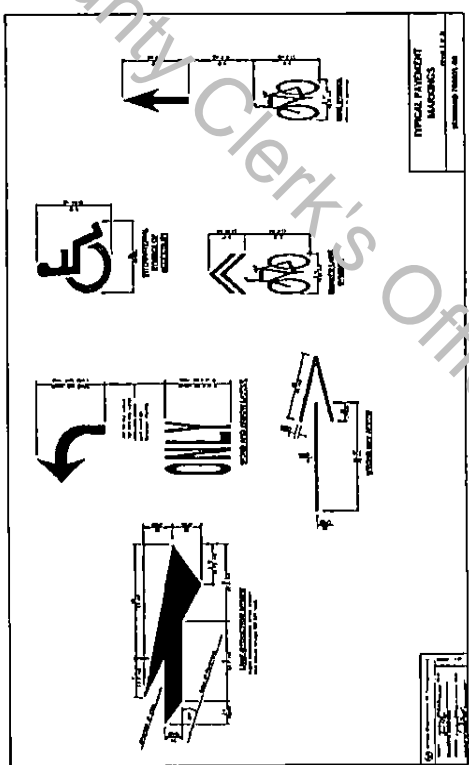
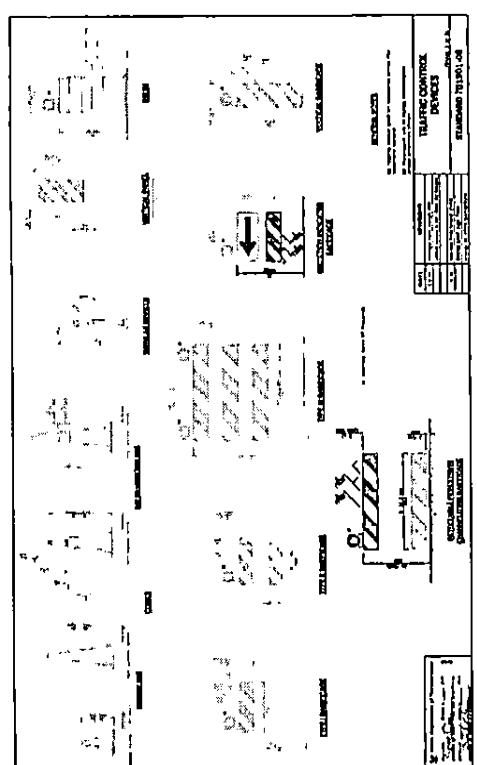
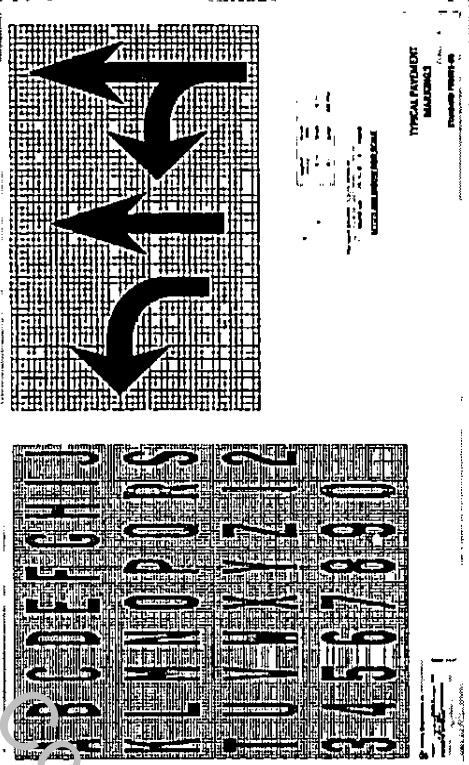
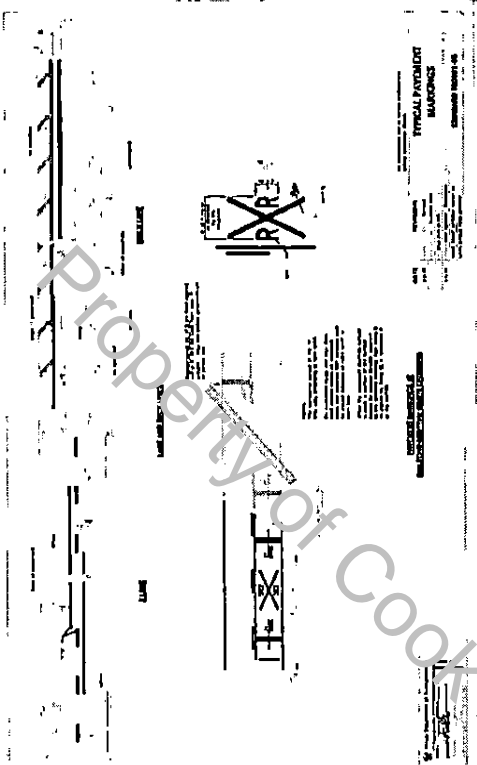


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7	CONCEPT		
8	PRELIMINARY		
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10	CONCEPT		
11	PRELIMINARY		
12	SCHEMATIC		

DETAILS

DATE: _____
SCALE: _____

**21166
R03**

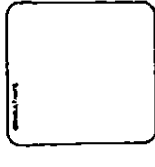


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EXTREME CLEAN CAR WASH
 144 E Irving Park Road
 Streamwood, IL 60107
 Cook County
 On Plans: 08/20/14
 On Site: 08/20/14
 1440 E. Irving Park Road
 Streamwood, IL 60107
 (708) 439-8800

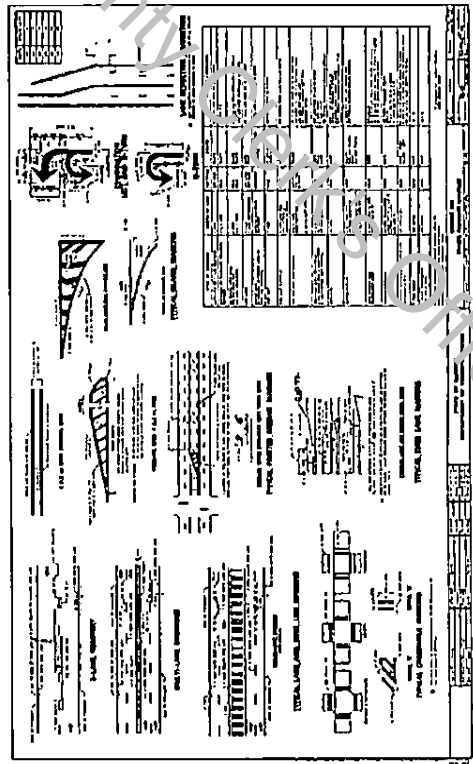
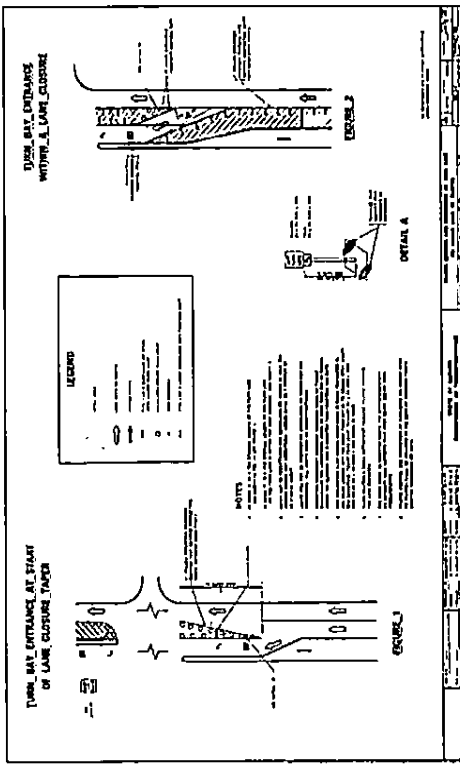


NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
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DETAILS

21166
 R04

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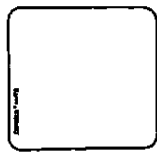


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 14 E Irving Park Road
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 Cook County

City of Streamwood
 1400 North La Grange Road
 Suite 100
 La Grange, IL 60143
 Phone: 630-516-1000
 Fax: 630-516-1001
 Email: info@designresources.com

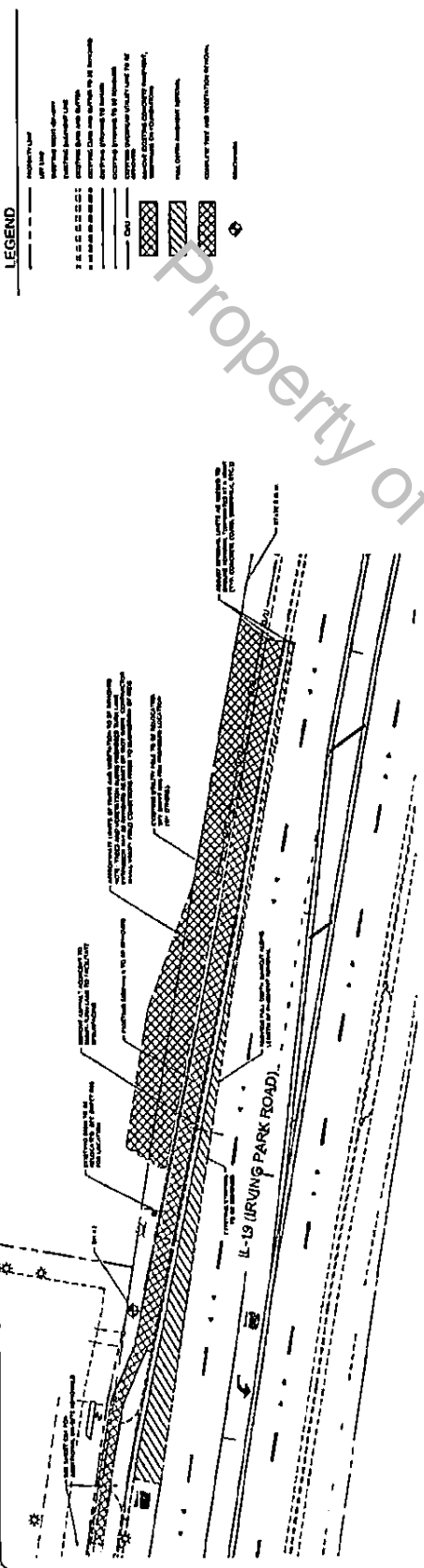


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30	ISSUED FOR PERMITS		

REMOVALS PLAN

NO. 1
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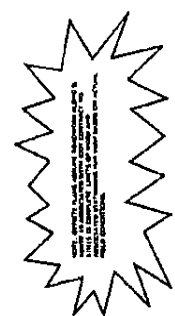
PROJECT NUMBER: 21166
 RDS



- NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF STREAMWOOD ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STREAMWOOD AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.
 5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND SIDEWALKS.
 6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPING.
 7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE.
 8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.
 9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING STRUCTURES.
 10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS.
 11. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT.
 12. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS.
 13. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIDEWALKS.
 14. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES.
 15. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LANDSCAPING.
 16. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE.
 17. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.
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 19. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS.
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 21. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS.
 22. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIDEWALKS.
 23. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES.
 24. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LANDSCAPING.
 25. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE.
 26. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES.
 27. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING STRUCTURES.
 28. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS.
 29. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT.
 30. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS.

BENCHMARKS

DESCRIPTION	BLM PIN (ELEVATION)
BENCHMARK 1 NORTH CORNER OF EXISTING ASPH/CONC PAVEMENT	620.29
BENCHMARK 2 NORTH CORNER OF EXISTING POLE	622.80



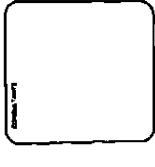
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 14400 S. Halsted Street, Suite 200
 Chicago, IL 60648
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 Fax: 773.326.1101
 www.designresources.com

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 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

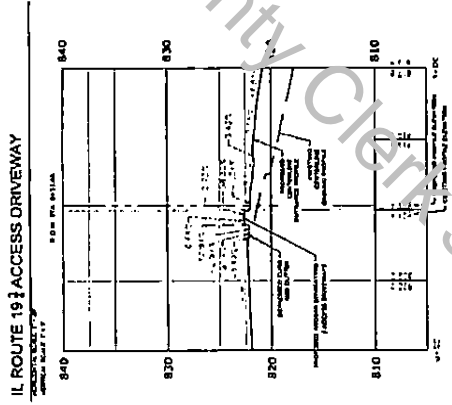
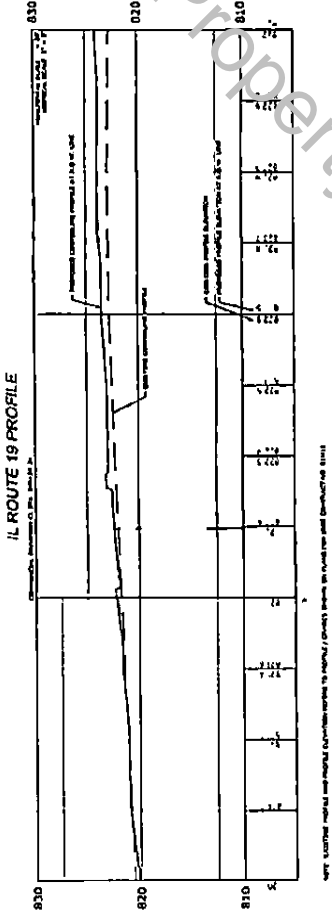
On the Order of Department of Transportation
 1st & 2nd Street, Suite 200
 Streamwood, IL 60107
 (773) 326-1100



NO.	DESCRIPTION	DATE	BY
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2	DESIGN START	11-15-11	MM
3	DESIGN REVIEW	11-15-11	MM
4	DESIGN COMPLETE	11-15-11	MM
5	CONSTRUCTION START	11-15-11	MM
6	CONSTRUCTION COMPLETE	11-15-11	MM
7	PROJECT CLOSE	11-15-11	MM
8	PROJECT END	11-15-11	MM
9	PROJECT REVIEW	11-15-11	MM
10	PROJECT CLOSE	11-15-11	MM
11	PROJECT END	11-15-11	MM
12	PROJECT REVIEW	11-15-11	MM

IL 19 PROFILE VIEW

21166
R07



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 600 Westmoreland Street
 Suite 100
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 Fax: 630.335.1112
 Email: info@designresources.com

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 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County

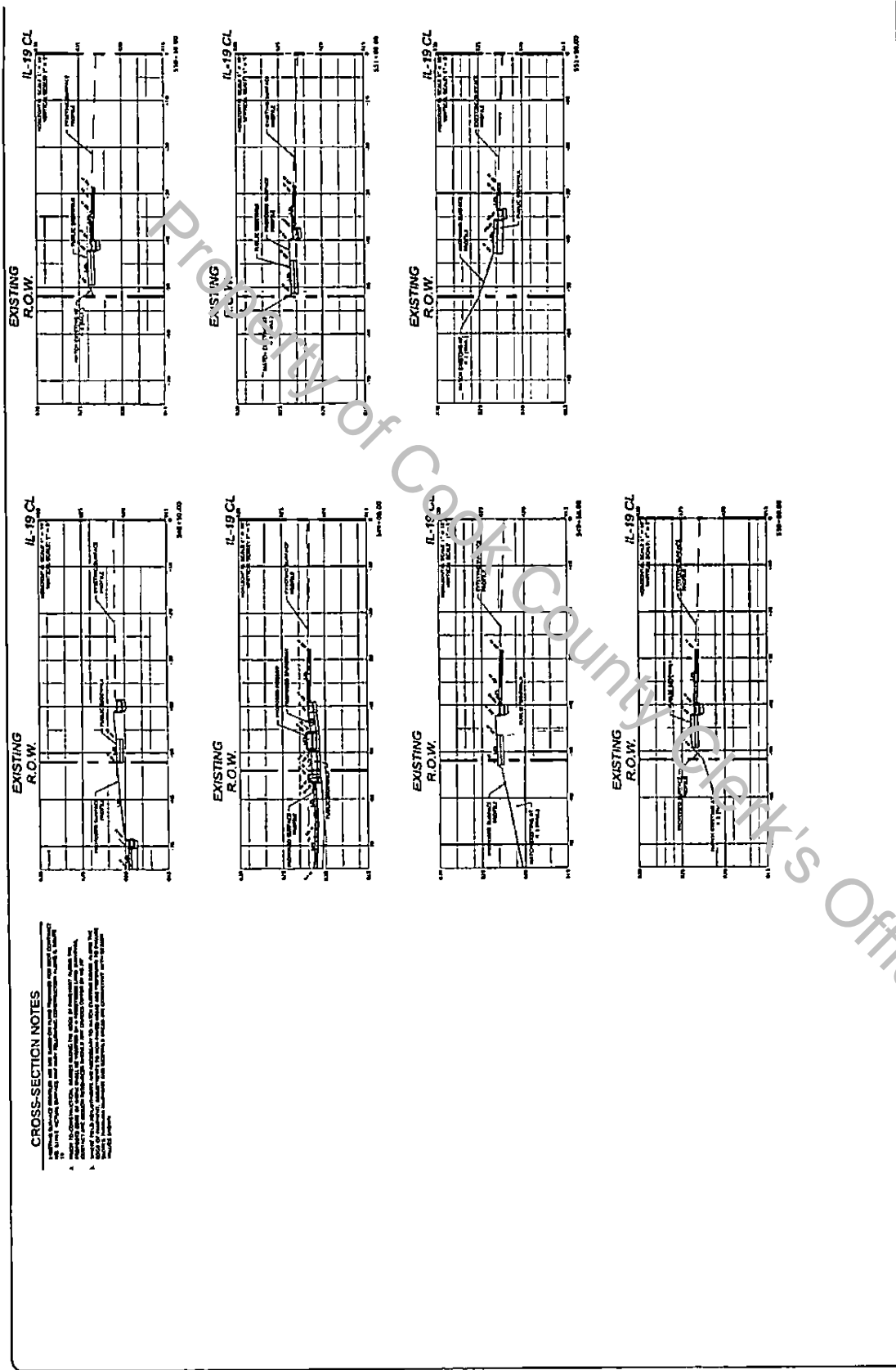
Let's Make Your Business Shine
 We'll Wash, Wax, Shine & Wash
 Your Car Wash

Blank box for stamp or signature.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/11/11
2	ISSUED FOR PERMITS	11/11/11
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11	ISSUED FOR PERMITS	11/11/11
12	ISSUED FOR PERMITS	11/11/11

IL-19 SECTION VIEWS

21166
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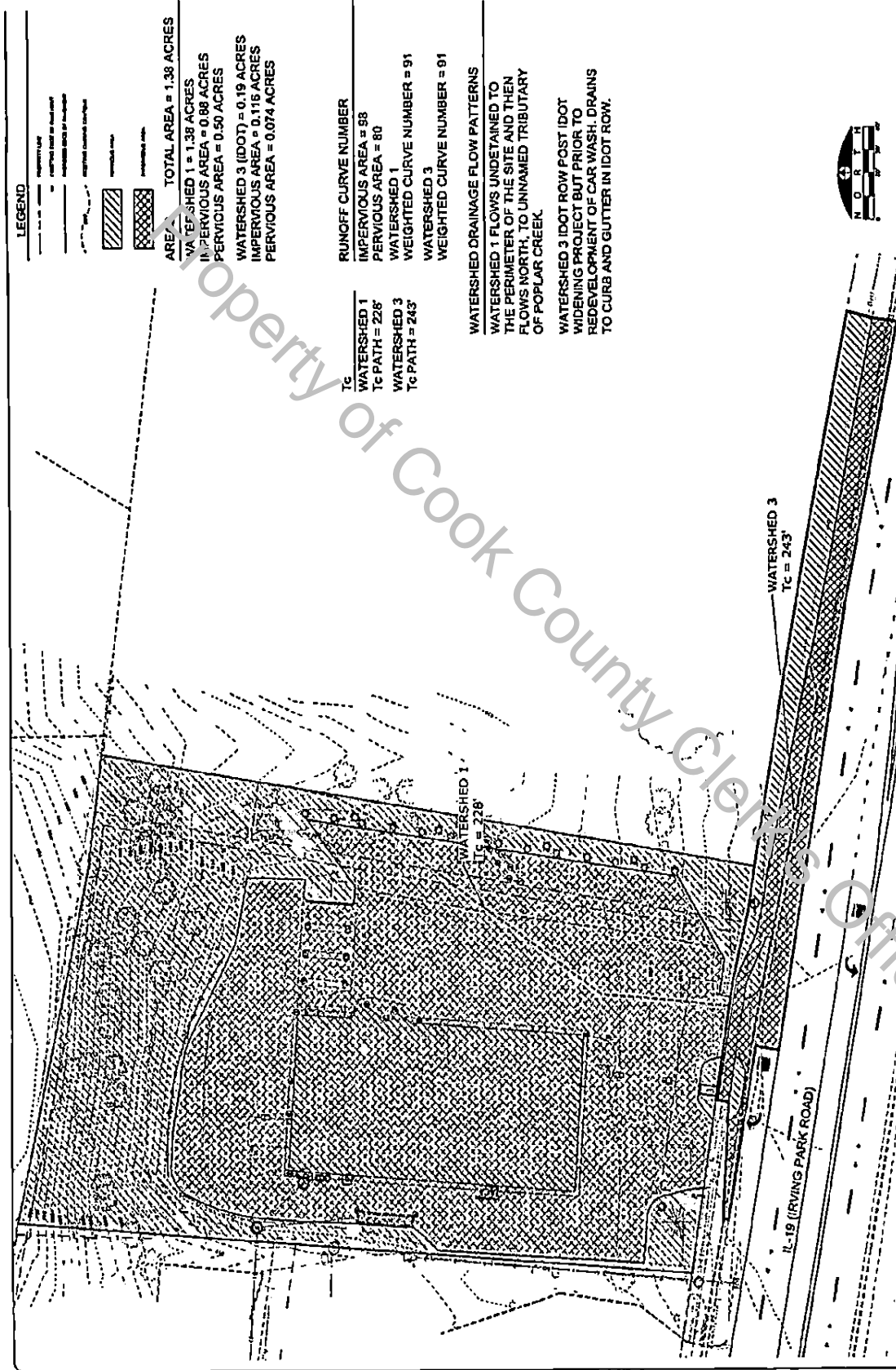
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City of Streamwood
 14 E Irving Park Road
 Streamwood, IL 60107
 Cook County
 (708) 439-1100
 www.drresources.com

Watershed	Area (Acres)	Imperious Area (Acres)	PerVIOUS Area (Acres)	Weighted Curve Number
1	1.38	0.88	0.50	91
2	0.19	0.115	0.074	91
3	0.074	0.045	0.03	91
Total	1.644	1.043	0.604	91

EXISTING DRAINAGE PLAN

21166
 EX-1



LEGEND

- PROPERTY LINE
- EXISTING DRAINAGE
- PROPOSED DRAINAGE
- PROPOSED CURB AND GUTTER
- IMPERVIOUS AREA
- PERVIOUS AREA

AREAS
 TOTAL AREA = 1.38 ACRES
 WATERSHED 1 = 1.38 ACRES
 IMPERVIOUS AREA = 0.88 ACRES
 PERVIOUS AREA = 0.50 ACRES
 WATERSHED 3 (IDOT) = 0.19 ACRES
 IMPERVIOUS AREA = 0.115 ACRES
 PERVIOUS AREA = 0.074 ACRES

RUNOFF CURVE NUMBER
 IMPERVIOUS AREA = 98
 PERVIOUS AREA = 80
 WATERSHED 1
 WEIGHTED CURVE NUMBER = 91
 WATERSHED 3
 WEIGHTED CURVE NUMBER = 91

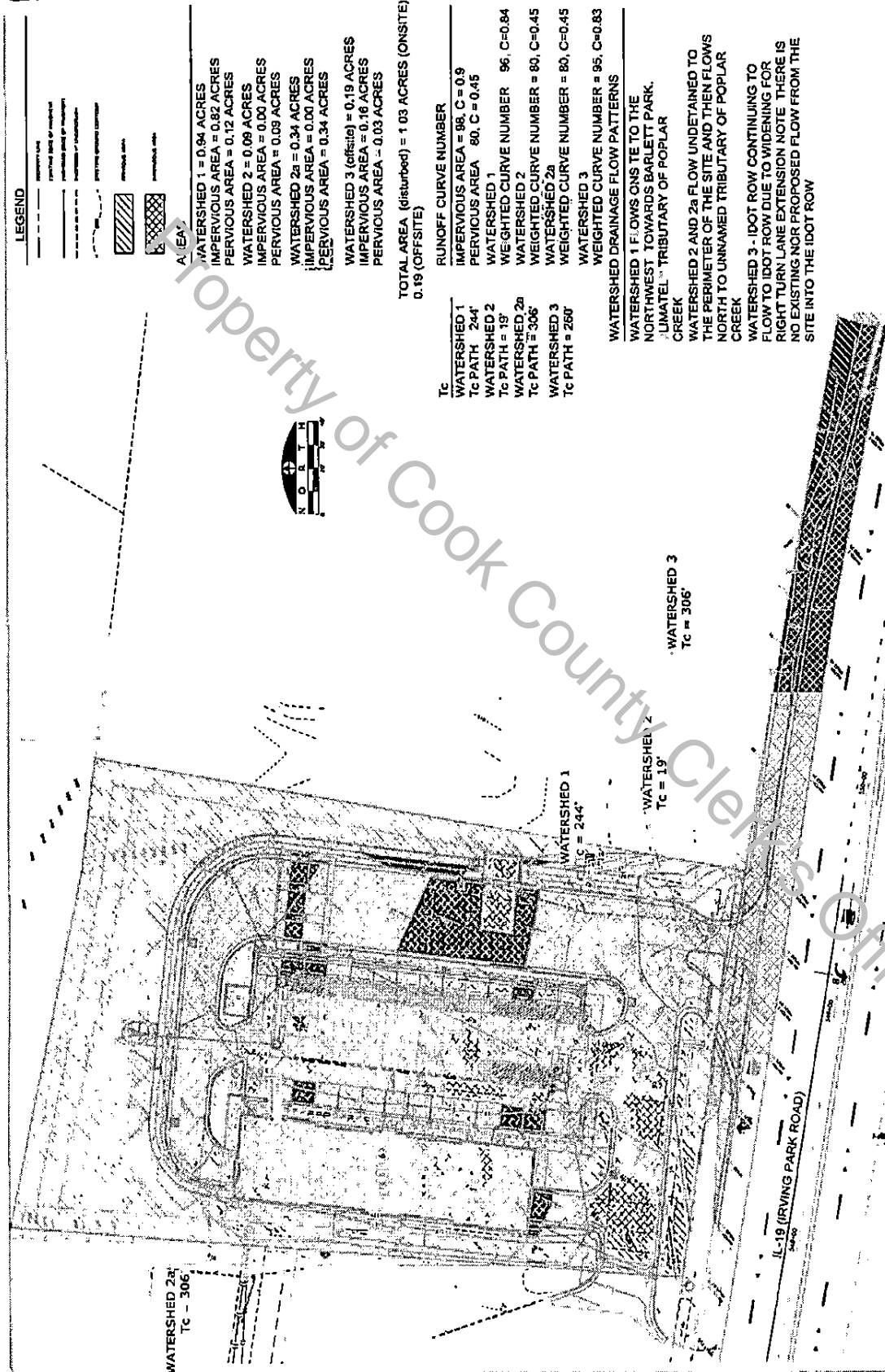
Tc
 WATERSHED 1
 Tc PATH = 228'
 WATERSHED 3
 Tc PATH = 243'

WATERSHED DRAINAGE FLOW PATTERNS
 WATERSHED 1 FLOWS UNDETAINED TO THE PERIMETER OF THE SITE AND THEN FLOWS NORTH, TO UNNAMED TRIBUTARY OF POPLAR CREEK.
 WATERSHED 3 IDOT ROW POST IDOT WIDENING PROJECT BUT PRIOR TO REDEVELOPMENT OF CAR WASH. DRAINS TO CURB AND GUTTER IN IDOT ROW.

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------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--	--	--	--



LEGEND

- IMPERVIOUS AREA
- PERVIOUS AREA
- FLOW PATH
- WATERSHED
- IDOT ROW
- UNNAMED TRIBUTARY OF POPLAR CREEK
- LIMAVEL TRIBUTARY OF POPLAR CREEK
- UNNAMED TRIBUTARY OF POPLAR CREEK

A. AREA

WATERSHED 1 = 0.84 ACRES
 IMPERVIOUS AREA = 0.82 ACRES
 PERVIOUS AREA = 0.12 ACRES

WATERSHED 2 = 0.09 ACRES
 IMPERVIOUS AREA = 0.00 ACRES
 PERVIOUS AREA = 0.09 ACRES

WATERSHED 2a = 0.34 ACRES
 IMPERVIOUS AREA = 0.00 ACRES
 PERVIOUS AREA = 0.34 ACRES

WATERSHED 3 (offsite) = 0.19 ACRES
 IMPERVIOUS AREA = 0.16 ACRES
 PERVIOUS AREA = 0.03 ACRES

**TOTAL AREA (disturbed) = 1.03 ACRES (ONSITE)
 0.19 (OFFSITE)**

Tc

WATERSHED 1
 Tc PATH = 244'

WATERSHED 2
 Tc PATH = 19'

WATERSHED 2a
 Tc PATH = 306'

WATERSHED 3
 Tc PATH = 250'

RUNOFF CURVE NUMBER

WATERSHED 1
 IMPERVIOUS AREA = 95, C = 0.19
 PERVIOUS AREA = 80, C = 0.45

WATERSHED 2
 WEIGHTED CURVE NUMBER = 96, C = 0.84

WATERSHED 2a
 WEIGHTED CURVE NUMBER = 80, C = 0.45

WATERSHED 2b
 WEIGHTED CURVE NUMBER = 80, C = 0.45

WATERSHED 3
 WEIGHTED CURVE NUMBER = 95, C = 0.83

WATERSHED DRAINAGE FLOW PATTERNS

WATERSHED 1 FLOWS ON SITE TO THE NORTHWEST TOWARDS BARLETT PARK, LIMAVEL TRIBUTARY OF POPLAR CREEK

WATERSHED 2 AND 2a FLOW UNDETAINED TO THE PERIMETER OF THE SITE AND THEN FLOWS NORTH TO UNNAMED TRIBUTARY OF POPLAR CREEK

WATERSHED 3 - IDOT ROW CONTINUING TO FLOW TO IDOT ROW DUE TO WIDENING FOR RIGHT TURN LANE EXTENSION NOTE THERE IS NO EXISTING NOR PROPOSED FLOW FROM THE SITE INTO THE IDOT ROW

21166
 EX2

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DESIGN RESOURCES INC.
 14 E. Irving Park Road
 Streamwood, IL 60107
 Cook County

Project No. 21166
 Exhibit No. EX-3

EXTREME CLEAN CAR WASH
 14 E. Irving Park Road
 Streamwood, IL 60107
 Cook County

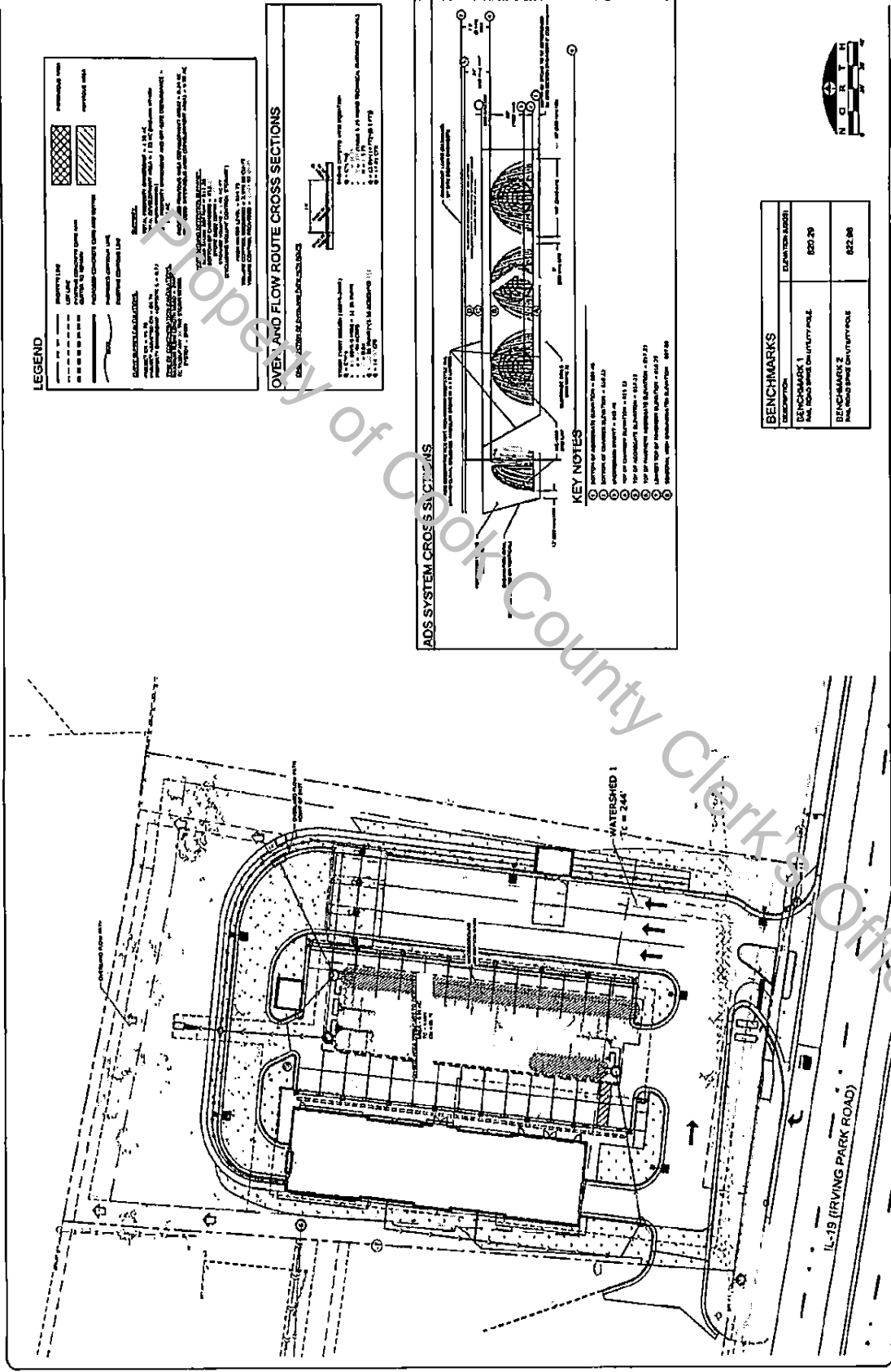
City of Streamwood
 14 E. Irving Park Road
 Streamwood, IL 60107
 (708) 487-1100

Sheet No. 59 of 66

NO.	DESCRIPTION	DATE
1	DESIGN	11/18/20
2	REVISION	12/15/20
3	REVISION	1/15/21
4	REVISION	2/15/21
5	REVISION	3/15/21
6	REVISION	4/15/21
7	REVISION	5/15/21
8	REVISION	6/15/21
9	REVISION	7/15/21
10	REVISION	8/15/21
11	REVISION	9/15/21
12	REVISION	10/15/21

NRWD DRAINAGE EXHIBIT

Project No. 21166
 Exhibit No. EX-3



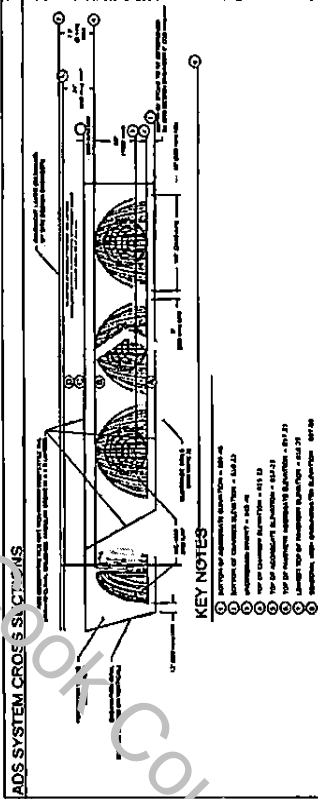
LEGEND

- PROPERTY LINE
- EXISTING CONCRETE DRIVE
- EXISTING ASPHALT DRIVE
- EXISTING SIDEWALK
- EXISTING DRIVEWAY
- EXISTING DRIVEWAY
- EXISTING DRIVEWAY
- EXISTING DRIVEWAY

PROPOSED DRAINAGE SYSTEMS

- PROPOSED 18" DIA. RCP
- PROPOSED 12" DIA. RCP
- PROPOSED 8" DIA. RCP
- PROPOSED 6" DIA. RCP
- PROPOSED 4" DIA. RCP
- PROPOSED 3" DIA. RCP
- PROPOSED 2" DIA. RCP
- PROPOSED 1.5" DIA. RCP
- PROPOSED 1" DIA. RCP
- PROPOSED 0.75" DIA. RCP
- PROPOSED 0.5" DIA. RCP

OVER AND FLOW ROUTE CROSS SECTIONS



BENCHMARKS

BENCHMARK NO.	ELEVATION (FEET)
BENCHMARK 1	620.29
BENCHMARK 2	622.06



Property of Cook County Clerk's Office

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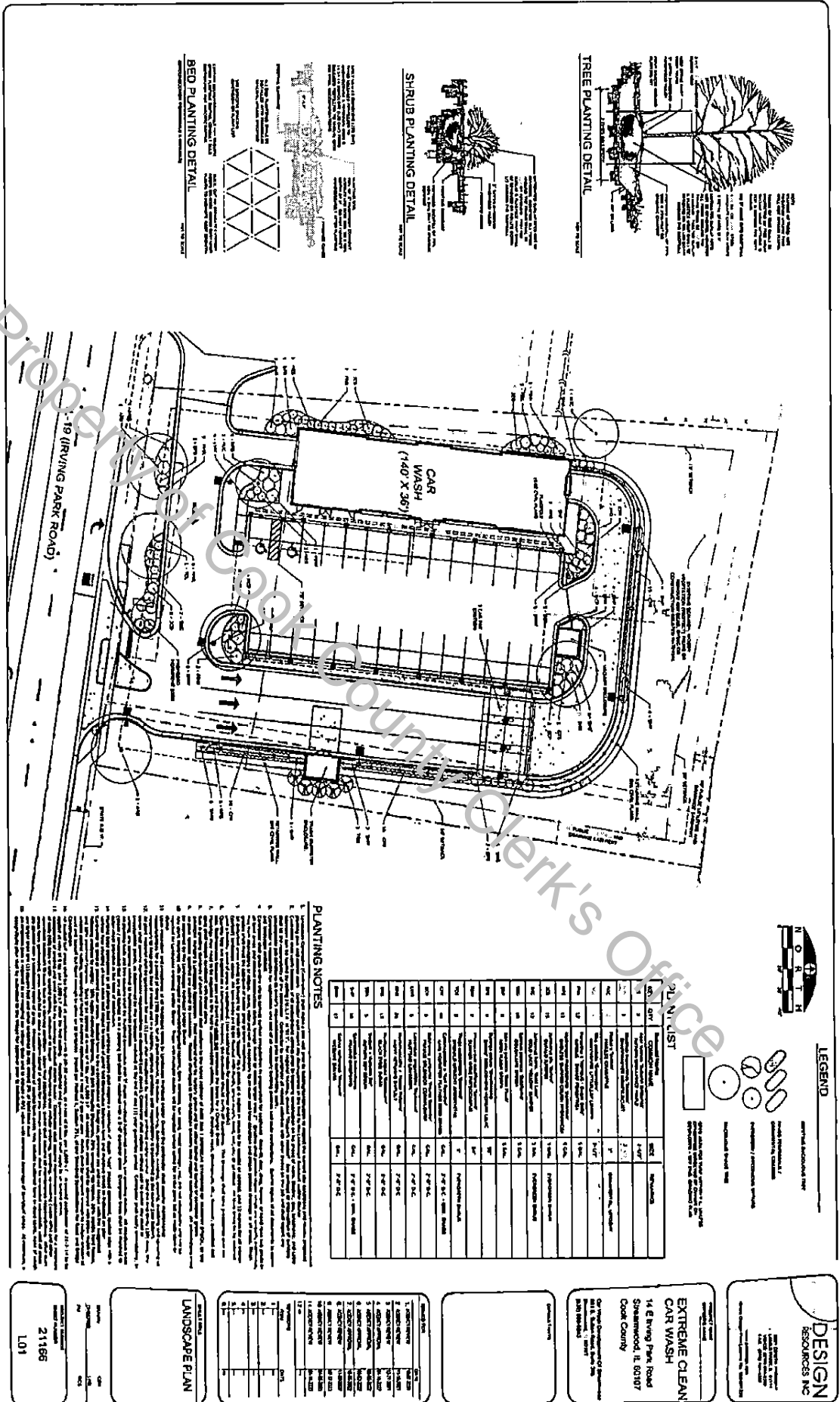
EXHIBIT F
Landscape Plans

Property of Cook County Clerk's Office

COOK COUNTY CLERK OFFICE
REGISTRATION DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

COOK COUNTY CLERK OFFICE
REGISTRATION DIVISION
118 N. CLARK ST. ROOM 120
CHICAGO, IL 60602-1387

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BED PLANTING DETAIL

1. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

SHRUB PLANTING DETAIL

1. ALL SHRUBS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. ALL SHRUBS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. ALL SHRUBS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

TREE PLANTING DETAIL

1. ALL TREES TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. ALL TREES TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. ALL TREES TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

PLANTING NOTES

1. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

4. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

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12. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

13. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

14. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

15. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

16. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

17. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

18. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

19. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

20. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

NO.	QTY	DESCRIPTION	SIZE	REMARKS
1	1	SPRINKLER HEAD	1/2"	1/2" x 1/2"
2	1	IRRIGATION VALVE	1/2"	1/2" x 1/2"
3	1	MULCH	2"	2" x 2"
4	1	GRASS	12"	12" x 12"
5	1	PAVED AREA	12"	12" x 12"
6	1	ASPHALT	12"	12" x 12"
7	1	SPRINKLER HEAD	1/2"	1/2" x 1/2"
8	1	IRRIGATION VALVE	1/2"	1/2" x 1/2"
9	1	MULCH	2"	2" x 2"
10	1	GRASS	12"	12" x 12"
11	1	PAVED AREA	12"	12" x 12"
12	1	ASPHALT	12"	12" x 12"
13	1	SPRINKLER HEAD	1/2"	1/2" x 1/2"
14	1	IRRIGATION VALVE	1/2"	1/2" x 1/2"
15	1	MULCH	2"	2" x 2"
16	1	GRASS	12"	12" x 12"
17	1	PAVED AREA	12"	12" x 12"
18	1	ASPHALT	12"	12" x 12"
19	1	SPRINKLER HEAD	1/2"	1/2" x 1/2"
20	1	IRRIGATION VALVE	1/2"	1/2" x 1/2"
21	1	MULCH	2"	2" x 2"
22	1	GRASS	12"	12" x 12"
23	1	PAVED AREA	12"	12" x 12"
24	1	ASPHALT	12"	12" x 12"
25	1	SPRINKLER HEAD	1/2"	1/2" x 1/2"
26	1	IRRIGATION VALVE	1/2"	1/2" x 1/2"
27	1	MULCH	2"	2" x 2"
28	1	GRASS	12"	12" x 12"
29	1	PAVED AREA	12"	12" x 12"
30	1	ASPHALT	12"	12" x 12"



LEGEND

- SPRINKLER HEAD
- IRRIGATION VALVE
- MULCH
- GRASS
- PAVED AREA
- ASPHALT

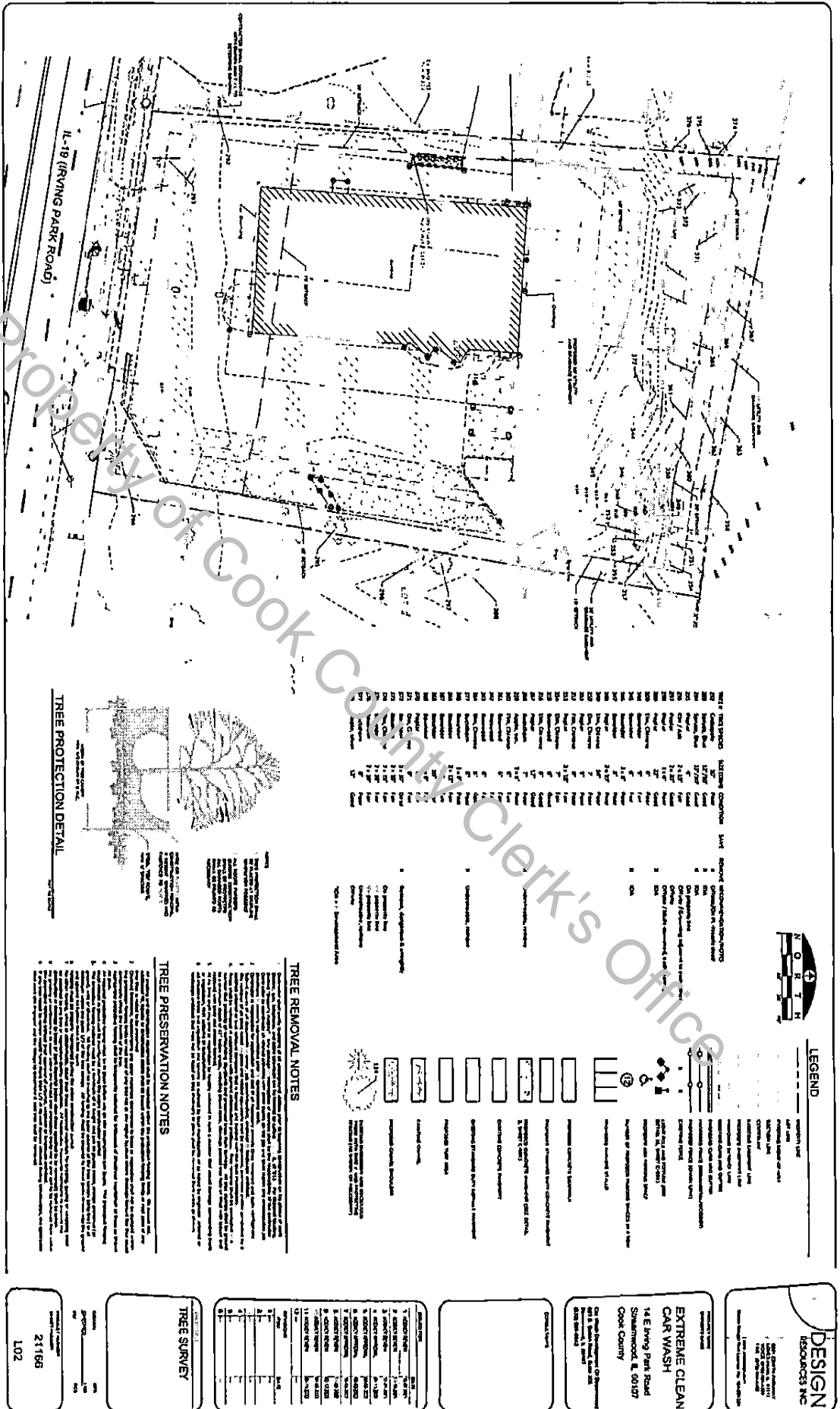
DESIGN
RESOURCES INC

**EXTREME CLEAN
CAR WASH**
14 E Irving Park Road
Streamwood, IL 60107
Cook County

LANDSCAPE PLAN

21166
L01

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LEGEND

- Proposed Utility
- Existing Utility
- Proposed Building Footprint
- Existing Building Footprint
- Proposed Parking
- Existing Parking
- Proposed Driveway
- Existing Driveway
- Proposed Fencing
- Existing Fencing
- Proposed Retention Wall
- Existing Retention Wall
- Proposed Stormwater Management
- Existing Stormwater Management
- Proposed Tree
- Existing Tree
- Proposed Tree Removal
- Existing Tree Removal
- Proposed Tree Preservation
- Existing Tree Preservation
- Proposed Tree Protection
- Existing Tree Protection
- Proposed Tree Survey
- Existing Tree Survey
- Proposed Tree Inventory
- Existing Tree Inventory
- Proposed Tree Assessment
- Existing Tree Assessment
- Proposed Tree Mitigation
- Existing Tree Mitigation
- Proposed Tree Compensation
- Existing Tree Compensation
- Proposed Tree Replacement
- Existing Tree Replacement
- Proposed Tree Relocation
- Existing Tree Relocation
- Proposed Tree Pruning
- Existing Tree Pruning
- Proposed Tree Staking
- Existing Tree Staking
- Proposed Tree Mulching
- Existing Tree Mulching
- Proposed Tree Watering
- Existing Tree Watering
- Proposed Tree Fertilizing
- Existing Tree Fertilizing
- Proposed Tree Pest Control
- Existing Tree Pest Control
- Proposed Tree Disease Treatment
- Existing Tree Disease Treatment
- Proposed Tree Root Barriers
- Existing Tree Root Barriers
- Proposed Tree Root Pruning
- Existing Tree Root Pruning
- Proposed Tree Root Collar Removal
- Existing Tree Root Collar Removal
- Proposed Tree Root Collar Installation
- Existing Tree Root Collar Installation
- Proposed Tree Root Collar Replacement
- Existing Tree Root Collar Replacement
- Proposed Tree Root Collar Repair
- Existing Tree Root Collar Repair
- Proposed Tree Root Collar Sealing
- Existing Tree Root Collar Sealing
- Proposed Tree Root Collar Painting
- Existing Tree Root Collar Painting
- Proposed Tree Root Collar Staining
- Existing Tree Root Collar Staining
- Proposed Tree Root Collar Polishing
- Existing Tree Root Collar Polishing
- Proposed Tree Root Collar Buffing
- Existing Tree Root Collar Buffing
- Proposed Tree Root Collar Waxing
- Existing Tree Root Collar Waxing
- Proposed Tree Root Collar Oiling
- Existing Tree Root Collar Oiling
- Proposed Tree Root Collar Greasing
- Existing Tree Root Collar Greasing
- Proposed Tree Root Collar Lubricating
- Existing Tree Root Collar Lubricating
- Proposed Tree Root Collar Polishing
- Existing Tree Root Collar Polishing
- Proposed Tree Root Collar Buffing
- Existing Tree Root Collar Buffing
- Proposed Tree Root Collar Waxing
- Existing Tree Root Collar Waxing
- Proposed Tree Root Collar Oiling
- Existing Tree Root Collar Oiling
- Proposed Tree Root Collar Greasing
- Existing Tree Root Collar Greasing
- Proposed Tree Root Collar Lubricating
- Existing Tree Root Collar Lubricating

Tree ID	Tree Species	Tree Diameter	Tree Height	Tree Condition	Tree Location
1	Maple	12"	15'	Good	North of Building
2	Oak	18"	25'	Good	West of Building
3	Elm	10"	12'	Fair	East of Building
4	Pine	8"	10'	Good	South of Building
5	Birch	14"	18'	Fair	North of Building
6	Walnut	16"	20'	Good	West of Building
7	Cherry	11"	14'	Fair	East of Building
8	Plum	9"	11'	Good	South of Building
9	Apple	13"	16'	Fair	North of Building
10	Peach	15"	19'	Good	West of Building
11	Orange	17"	22'	Fair	East of Building
12	Lemon	19"	24'	Good	South of Building
13	Lime	21"	26'	Fair	North of Building
14	Guava	23"	28'	Good	West of Building
15	Pawpaw	25"	30'	Fair	East of Building
16	Jackfruit	27"	32'	Good	South of Building
17	Mango	29"	34'	Fair	North of Building
18	Pineapple	31"	36'	Good	West of Building
19	Watermelon	33"	38'	Fair	East of Building
20	Cantaloupe	35"	40'	Good	South of Building
21	Honeydew	37"	42'	Fair	North of Building
22	Strawberry	39"	44'	Good	West of Building
23	Raspberries	41"	46'	Fair	East of Building
24	Blackberries	43"	48'	Good	South of Building
25	Blueberries	45"	50'	Fair	North of Building
26	Strawberries	47"	52'	Good	West of Building
27	Raspberries	49"	54'	Fair	East of Building
28	Blackberries	51"	56'	Good	South of Building
29	Blueberries	53"	58'	Fair	North of Building
30	Strawberries	55"	60'	Good	West of Building

TREE REMOVAL NOTES

1. All trees to be removed shall be removed within 90 days of the date of this report, unless otherwise noted.

2. All trees to be removed shall be removed in a safe and sound manner, following all applicable laws and regulations.

3. All trees to be removed shall be removed in a safe and sound manner, following all applicable laws and regulations.

4. All trees to be removed shall be removed in a safe and sound manner, following all applicable laws and regulations.

5. All trees to be removed shall be removed in a safe and sound manner, following all applicable laws and regulations.

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9. All trees to be removed shall be removed in a safe and sound manner, following all applicable laws and regulations.

10. All trees to be removed shall be removed in a safe and sound manner, following all applicable laws and regulations.

TREE PRESERVATION NOTES

1. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.

2. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.

3. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.

4. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.

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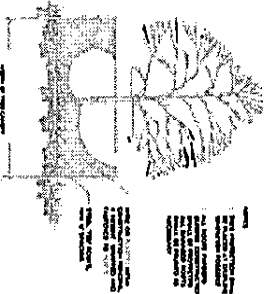
6. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.

7. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.

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10. All trees to be preserved shall be preserved in a safe and sound manner, following all applicable laws and regulations.



DESIGN
RESOURCES INC

1400 North Dearborn
Suite 200
Chicago, IL 60610
Tel: (773) 327-1111
Fax: (773) 327-1112
www.designresourcesinc.com

EXTREME CLEAN
CAR WASH

14 E Irving Park Road
Skokie, IL 60077
Cook County

Call for Details: (773) 327-1111
Fax: (773) 327-1112
www.designresourcesinc.com

TREE SURVEY

21166
102

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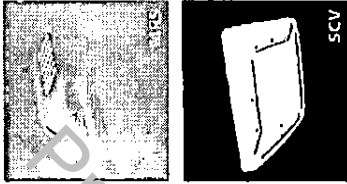
EXHIBIT G
Photometric Plan

Property of Cook County Clerk's Office

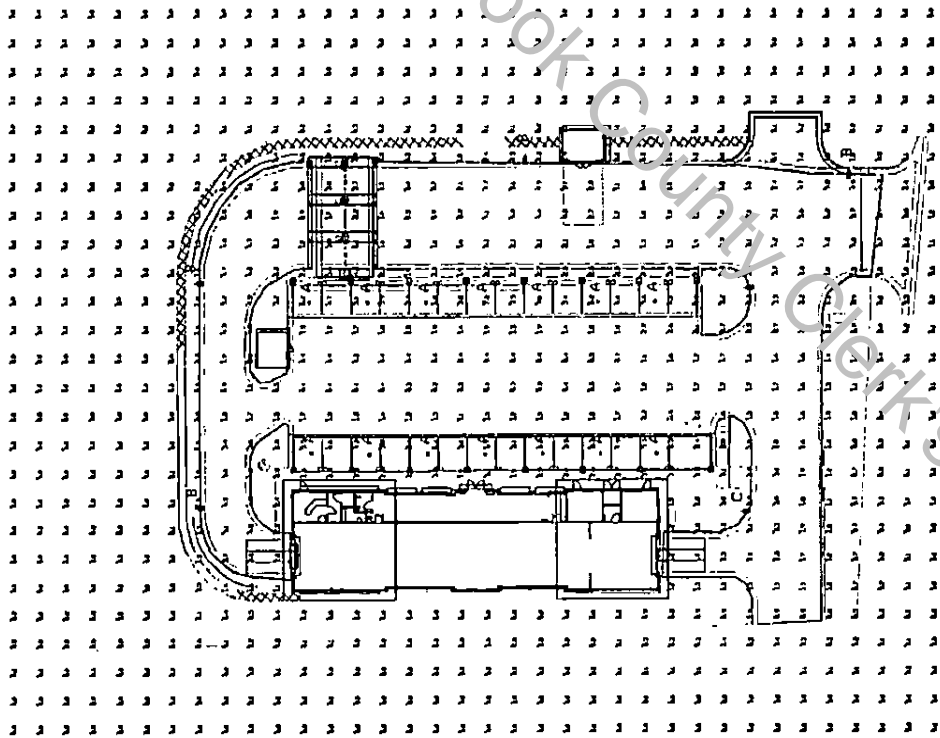
COOK COUNTY CLERK OFFICE
REGISTRATION DIVISION
118 N. LAUREL ST. ROOM 120
CHICAGO, IL 60602-1387

COOK COUNTY CLERK OFFICE
REGISTRATION DIVISION
118 N. LAUREL ST. ROOM 120
CHICAGO, IL 60602-1387

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Category	Quantity	Unit	Material	Notes
Concrete	1000	sq ft	1500	
Steel	1000	lb	1000	
Rebar	1000	ft	1000	
Formwork	1000	sq ft	1000	
Insulation	1000	sq ft	1000	
Paint	1000	gal	1000	
Other	1000	sq ft	1000	



Project Name: []

 Project No: []

 Date: []

 Scale: []

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Description: []

 Location: []

 Date: []

 Scale: []

Author: []

 Reviewer: []

 Date: []

This document is a photometric evaluation of the lighting system for the project. It is not intended for construction purposes. The lighting system is designed to provide adequate illumination for the project. The lighting system is designed to provide adequate illumination for the project.