

MODIFICATION AGREEMENT - MORTGAGE
UNOFFICIAL COPY

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In consideration of the payment to COLUMBIA NATIONAL BANK OF CHICAGO, the owner and holder of the indebtedness described below, of a modification fee of \$ -0- receipt of which is hereby acknowledged, it is mutually agreed that the terms of repayment of said indebtedness be and they are hereby modified as herein provided:

The existing indebtedness is represented by a Note dated December 1, 1988, in the original principal amount of \$ 138,500.00 plus interest at the rate of Prime % per annum payable in 2 semi-annual ~~monthly~~ installments of \$ accrued interest with the final installment due and payable December 1, 1989. The present unpaid balance of said indebtedness is \$ 138,500.00

The Note is secured by a Mortgage ^{and Assignment of Rents} dated December 1, 1988 and recorded in the office of the Recorder of Deeds of Cook County on December 5, 1988 as

Document No. 88559807, 88559808, 88559809 & 88559810. Document No. 88559807 & 88559808 were re-recorded to correct the legal description as Document #88589174 & 88589175 on December 22, 1988.

The Note and Mortgage are hereby amended to provide that the unpaid balance of \$ 138,500.00 shall bear interest at the rate of 9.76 % per annum and shall be paid in installments as follows;

\$ 4,999.66 on the 15th day of April, 1990 and
\$ 1,235.20 on the 15th day of each succeeding month thereafter
for 33 successive months and a final payment of \$ unpaid balance + accrued interest on the 15th day of March, 1995

All other terms, provisions and conditions of the Note, Mortgage and any and all other security instruments and supporting documents of any nature shall remain unchanged in every respect and are hereby ratified and confirmed. ***See attached Exhibit "A" for Legal Description***

DATED AT CHICAGO, ILLINOIS, this 1st day of December, 1989

William Conforti _____
Vivian Conforti
Melissa Conforti _____
Melissa Conforti

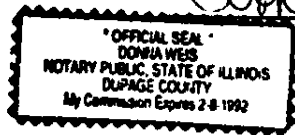
The foregoing Extension Agreement has been executed with the knowledge and consent of the undersigned endorser or guarantors who hereby consent to the same and agree that their obligations shall continue in force or changed hereby.

State of Illinois, DuPage County ss.
I, the undersigned _____, a Notary Public in and for said county and state, do hereby certify

that Vivian Conforti, William Conforti and Melissa Conforti _____ personally known to me to be the same _____ person(s) whose name(s) SEE subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that they signed and delivered the said instrument as their free and voluntary act for the purposes therein set forth.

Given under my hand and official seal, this 1st day of December, 1989

Prepared by and mail to:
Dona Weis
Columbia National Bank of Chicago
5250 N. Harlem Ave.
Chicago, IL 60656



Notary Public

RE TITLE SERVICES # 25-418

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Exhibit "A"

Lot 18 in Block 1 in Gross Park Addition to Chicago, being a subdivision of Blocks 39 and 50 in the subdivision of Section 19, Township 40 North, Range 14 East of the Third Principal Meridian, (except the southwest 1/4 of the Northeast 1/4 and south east 1/4 of the Northwest 1/4 and the East 1/2 of the southeast 1/4 thereof in Cook County, Illinois

Commonly known as: 1833 W. Roscoe, Chicago, Illinois

P.I.N.#: 14-19-420-007-0000

AND

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Lots 19, 20, 21 and 22 in Block 10 in McCollam and Krummel's addition to Norwood Park in the west half of Section 7, Township 40 North, Range 13 East of the Third Principal Meridian in Cook County, Illinois.

Commonly known as: 5313-21 N. Harlem Avenue, Chicago, IL

P.I.N.#: 13-07-122-036-0000

Property of Cook County Clerk's Office
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