

UNOFFICIAL COPY

**Warranty Deed
TENANCY BY THE ENTIRETY
Statutory (ILLINOIS)
(Individual to Individual)**

99406450

4672/0182 04 001 Page 1 of 3
1999-04-28 11:29:14
Cook County Recorder 25.00

CAUTION: Consult a lawyer before using or acting under this form. Neither the publisher nor the seller of this form makes any warranty with respect thereto, including any warranty of merchantability or fitness for a particular purpose.

THE GRANTOR (NAME AND ADDRESS)

David H. Chipman and Micki B. Chipman, husband and wife
3818 Mt. Rainier
Lake Orion, Michigan, 48360



(The Above Space For Recorder's Use Only)

of the _____ City of _____ Lake Orion _____ County
of _____, State of _____ Michigan _____

for and in consideration of Ten (\$10.00) DOLLARS,
in hand paid, CONVEY and WARRANT to
George Rabb and Judith ~~HEAT~~ Rabb
120 S. Riverside Plaza, Suite 2000
Chicago, IL 60606

(NAMES AND ADDRESS OF GRANTEES)

as husband and wife, as TENANTS BY THE ENTIRETY and not as Joint Tenants with rights of survivorship, nor as Tenants in Common, the following described Real Estate situated in the County of Cook in the State of Illinois, to wit: (See reverse side for legal description.) hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois. * TO HAVE AND TO HOLD said premises as husband and wife, not as Joint Tenants nor as Tenants in Common but as TENANTS BY THE ENTIRETY forever. SUBJECT TO: General taxes for 1998 and subsequent years and

Permanent Index Number (PIN): 17-16-108-027; 17-16-108-028

Address(es) of Real Estate: 130 S. Canal St., Unit #426, Chicago, Illinois 60606

DATED this 10th day of March 1999

PLEASE PRINT OR TYPE NAME(S) BELOW SIGNATURE(S)

[Signature]
David H. Chipman

(SEAL)

[Signature]
Micki B. Chipman

(SEAL)

(SEAL)

(SEAL)

State of Illinois, County of Cook ss. I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that David H. Chipman and Micki B. Chipman, husband and wife

personally known to me to be the same person^s whose name^s are subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.



Given under my hand and official seal, this 10th day of March 1999

Commission expires 5-10 1999 *[Signature]*
NOTARY PUBLIC

This instrument was prepared by Dean Kalamatianos, 2824 W. Diversey Ave., Chicago, IL 60647
(NAME AND ADDRESS)

*If Grantor is also Grantee you may wish to strike Release and Waiver of Homestead Rights.

BOX 333-CTI

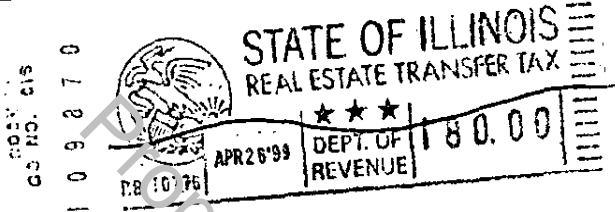
7795205 A above not for no interest

UNOFFICIAL COPY

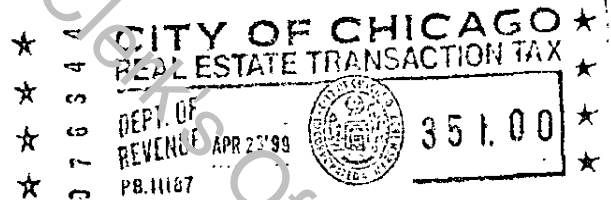
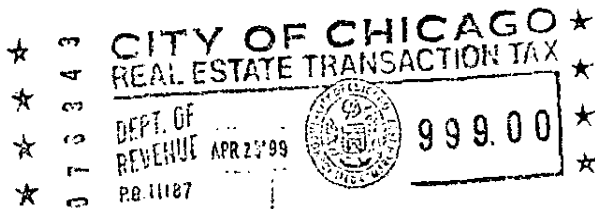
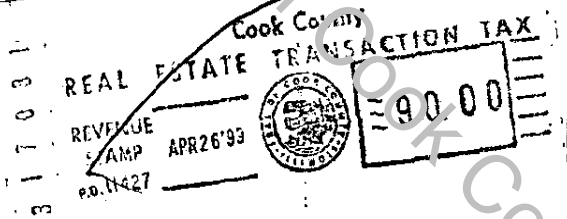
Legal Description

of premises commonly known as 130 S. Canal St., Unit #426, Chicago, IL 60606

As legally described in Exhibit A attached hereto and made a part hereof.



99406450



MAIL TO:

JOSEPH FRANK MILITO, RSA
(Name)
732 W. FULLERTON PKWY
(Address)
CHICAGO, IL 60614
(City, State and Zip)

SEND SUBSEQUENT TAX BILLS TO:

JUDITH RABB
(Name)
130 S. CANAL, UNIT 426
(Address)
CHICAGO, IL 60606
(City, State and Zip)

OR RECORDER'S OFFICE BOX NO. _____

UNOFFICIAL COPY

EXHIBIT A

LEGAL DESCRIPTION

99406450

PARCEL 1:

UNIT 426 IN THE METROPOLITAN PLACE CONDOMINIUM AS DELINEATED ON A SURVEY OF THE FOLLOWING DESCRIBED REAL ESTATE: PARTS OF BLOCK 50 IN SCHOOL SECTION ADDITION TO CHICAGO IN SECTION 16, TOWNSHIP 39 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. WHICH SURVEY IS ATTACHED AS EXHIBIT "A" TO THE DECLARATION OF CONDOMINIUM RECORDED AS DOCUMENT NUMBER ~ 99214670, TOGETHER WITH ITS UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2:

THE (EXCLUSIVE) RIGHT TO THE USE OF PARKING SPACE 187, A LIMITED COMMON ELEMENT AS DELINEATED ON THE SURVEY ATTACHED TO THE DECLARATION AFORESAID RECORDED AS DOCUMENT NUMBER ~ 99214670.

PARCEL 3:

NON-EXCLUSIVE EASEMENT IN FAVOR OF PARCEL 1 FOR INGRESS, EGRESS, USE, ENJOYMENT AND SUPPORT AS CREATED BY RECIPROCAL EASEMENT AGREEMENT RECORDED AS DOCUMENT NUMBER ~ 99214670 OVER, UPON AND UNDER PREMISES DESCRIBED THEREIN.

THIS CONVEYANCE IS MADE SUBJECT ONLY TO THE FOLLOWING, IF ANY: 1998 GENERAL REAL ESTATE TAXES WHICH ARE NOT YET DUE AND PAYABLE AT THE TIME OF CLOSING; EASEMENTS, COVENANTS, RESTRICTIONS AND BUILDING LINES OF RECORD, SO LONG AS SUCH EASEMENTS, COVENANTS, RESTRICTIONS AND BUILDING LINES OF RECORD DO NOT INTERFERE WITH PURCHASER'S USE OF THE SUBJECT PREMISES AS A RESIDENTIAL CONDOMINIUM UNIT; ENCROACHMENTS, IF ANY, SO LONG AS SUCH ENCROACHMENTS ARE NOT DETRIMENTAL TO THE PROJECT AS A WHOLE AND AS LONG AS THEY DO NOT AFFECT THE UNIT; APPLICABLE CITY OF CHICAGO ZONING, CONDOMINIUM AND BUILDING LAWS OR ORDINANCES; ACTS DONE OR SUFFERED BY PURCHASER; CONDOMINIUM PROPERTY ACT OF ILLINOIS; DECLARATION OF CONDOMINIUM OWNERSHIP AND ALL AMENDMENTS THERETO; LIENS AND OTHER MATTERS OVER WHICH THE TITLE INSURER COMMITS TO INSURE BY ENDORSEMENT; EXISTING LEASES, LICENSES AND AGREEMENTS AFFECTING THE COMMON ELEMENTS; UTILITY EASEMENTS, IF ANY, WHETHER RECORDED OR UNRECORDED.