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1999-04-30 14:46:08
Cook County Recorder 25.50



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Warranty Deed

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RESERVED FOR RECORDERS USE ONLY

TUNG/CLIFFORD

THE GRANOR(S) EDWARD H. TUNG AND MARCIE L. WESNER-TUNG, Husband and wife, of 942 Pear Tree, Wheeling, Il. 60090

for and in consideration of TEN (\$10.00) DOLLARS, and other good and valuable consideration, in hand paid do(es) hereby CONVEY and WARRANT to:

NICOLE CLIFFORD, Divorced and not since remarried and DAVID WILSON and NANCY WILSON, Husband and wife, of 204 Andover, Prospect Heights, Illinois 60070, ~~not in tenancy in common but in JOINT TENANCY~~, the following described real estate situated in the County of Cook, State of Illinois, to wit: Subject only to: general real estate taxes not due and payable at the time of closing, covenants, conditions and restrictions of record, building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of*

PLEASE SEE LEGAL DESCRIPTION ON REVERSE HEREOF OR ATTACHED HERETO

* of the property.
** in sole tenancy forever.

COMMONLY KNOWN AS: 942 Pear Tree, Wheeling, Il. 60090.

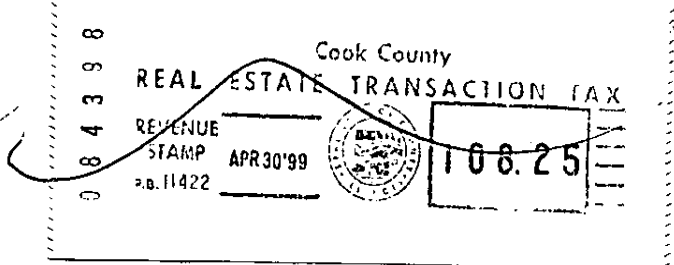
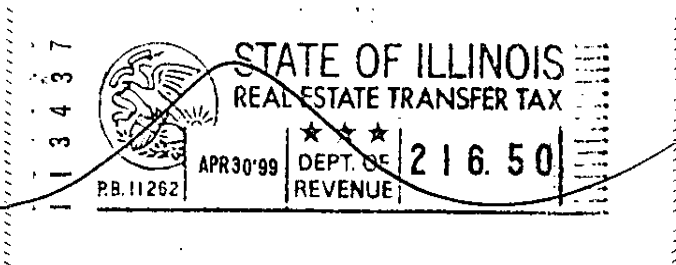
PERMANENT INDEX NUMBER: 03-15-216-052

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois. TO HAVE AND TO HOLD said premises, ~~not in tenancy in common but in Joint Tenancy~~, forever. in sole tenancy

DATED this 26th day of April, 1999

[Signature]
EDWARD H. TUNG

[Signature]
MARCIE L. WESNER-TUNG



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STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY Edward H. Tung & Marcie L. Wesner-Tung personally known to me to be the same person/s whose names/s is/are subscribed to the foregoing instrument, appeared before me this day, in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and official seal this 26th day of April, 1999.



NOTARY PUBLIC

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THIS INSTRUMENT WAS PREPARED BY: John L. Emmons, Attorney at Law
805 Golf Rd. #1145
Arlington Hts, IL. 60005

MAIL TO:

David A. J. Amico
1821 Walden Office Square #400
Schaumburg, IL 60173

Send Subsequent Tax Bills to:

NICOLE CLIFFORD
~~Ms. Clifford and Mr. and Mrs. Nelson~~
942 Pear Tree
Wheeling, IL. 60090



Clerk's Office

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Lot 199 in Lemke Farms Subdivision Unit 2, being a Subdivision of part of the East Half (1/2) of the Northeast Quarter (1/4) of Section 15, Township 42 North, Range 11, East of the Third Principal Meridian according to Plat thereof registered in the Office of the Registrar of Titles of Cook County, Illinois on July 14, 1978 as Document Number 3031925 and recorded as Document Number 24536419 and Corrected Final Plat registered on March 13, 1979 as Document Number 3080271 and recorded as Document Number 24877456, in Cook County, Illinois.

Office of Cook County Clerk's Office